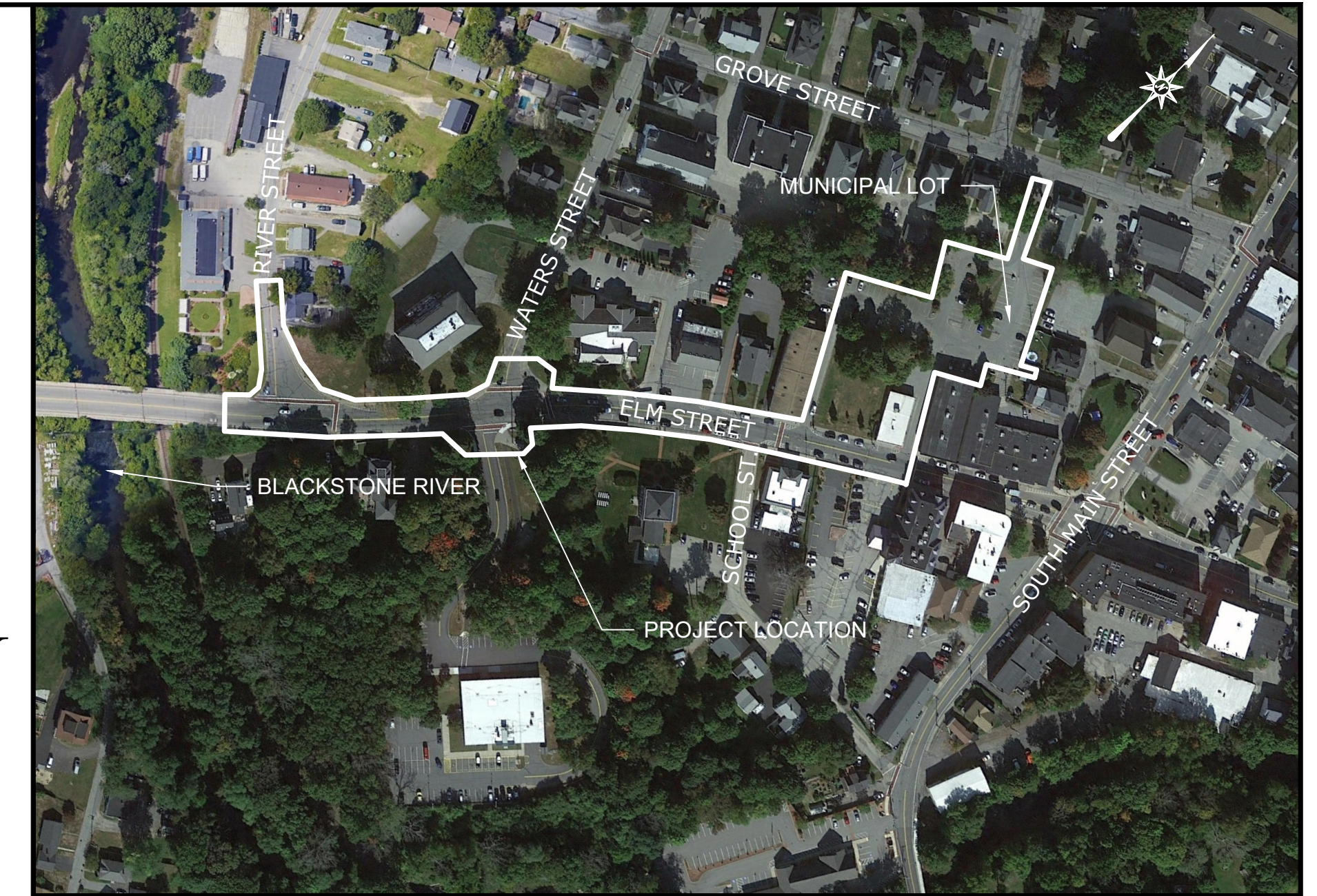


DESIGN DEVELOPMENT PLANS
 FOR
 IMPROVEMENTS TO MILLBURY DOWNTOWN
 PHASE 2
 ELM STREET
 FROM RIVER STREET TO
 MUNICIPAL LOT



VICINITY MAP
 SCALE: 1"=200'

TOWN OF
 Millbury, MASSACHUSETTS

PREPARED FOR:
 TOWN OF MILLBURY MASSACHUSETTS
 Elm Street
 Millbury, Massachusetts 01572

PREPARED BY:



ARCHITECTURE ENGINEERING ENVIRONMENTAL LAND SURVEYNG

220 Norwood Park South
 NORWOOD, MASSACHUSETTS, 02062
 (781) 619-9500

CONTENTS

EX-1 TO 4	TITLE SHEET
DN-01 TO 12	EXISTING CONDITIONS MAPS
MAT-01 TO MAT-05	MISCELLANEOUS DETAILS
LL-00 TO LL-04	MATERIALS PLANS
GD-01 TO GD-03	LANDSCAPE PLAN
LP-00 TO LP-03	GRADING PLANS
	LIGHTING PLANS

ENGINEER

PER _____
 NICHOLAS R. GIARDINA, P.E.
 MA PROFESSIONAL ENGINEER NO. 52085



DATE _____

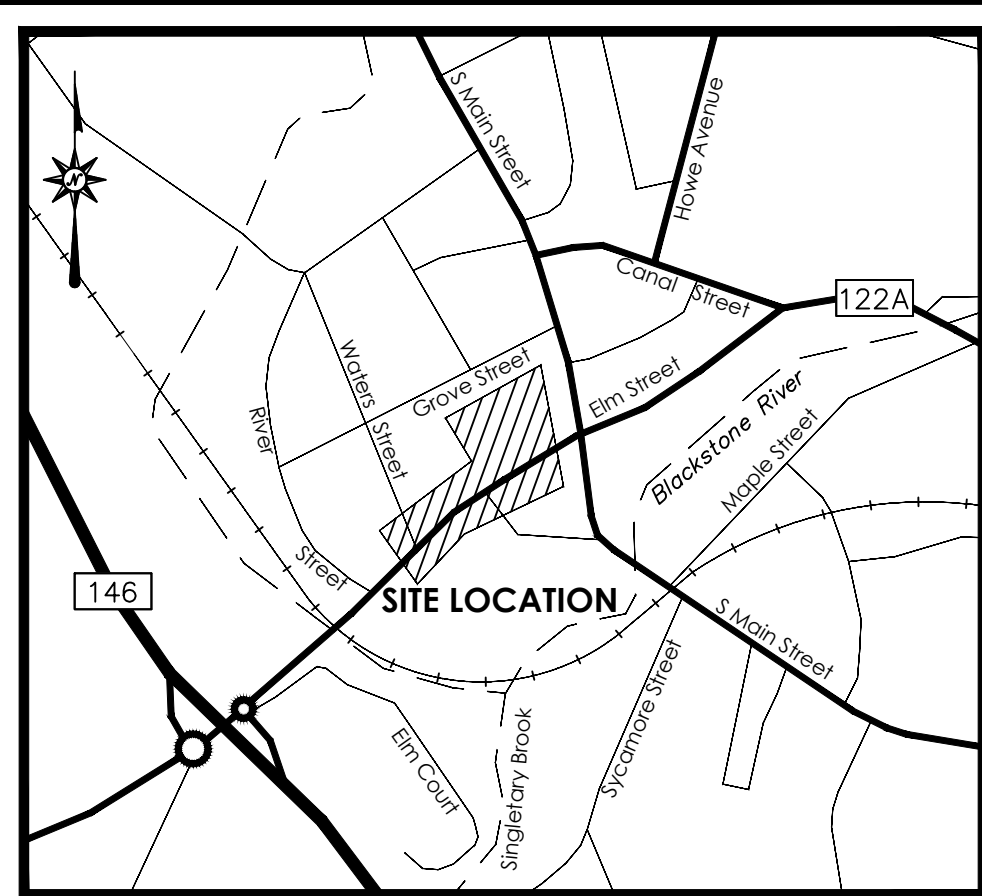
TOWN MANAGER

PER _____

DATE _____

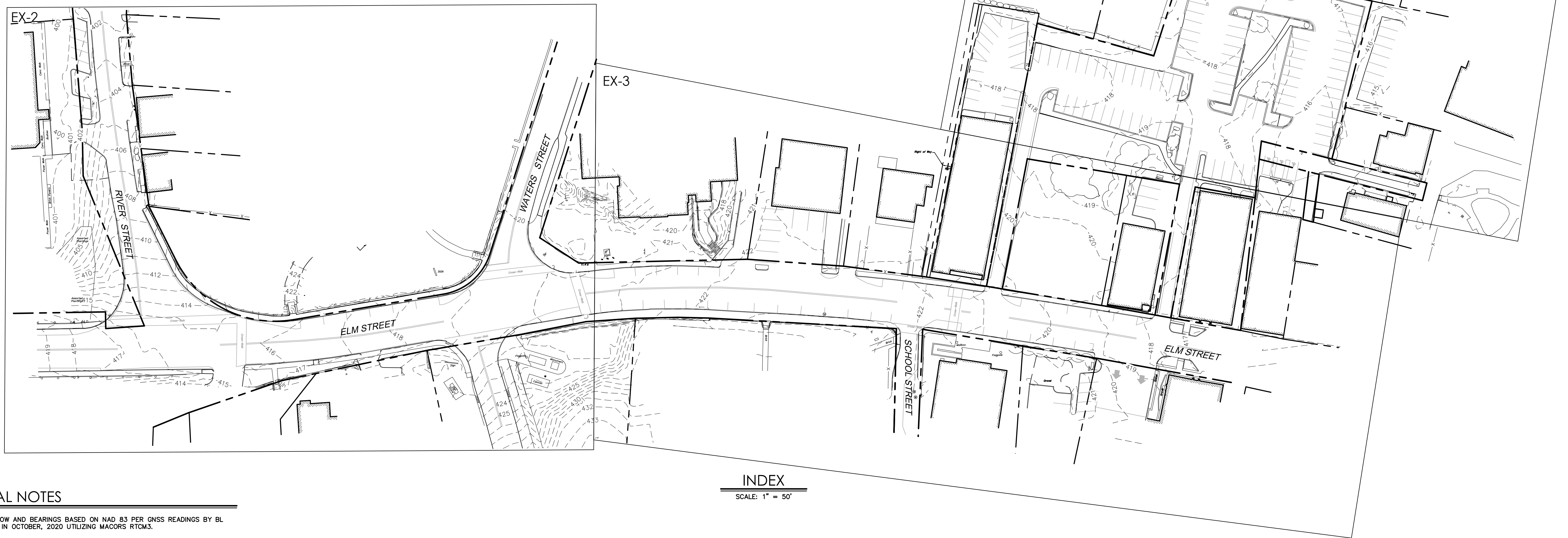
DATES

ISSUE DATE: May 26, 2021
 REVISION:



LOCATION MAP
NOT TO SCALE

LEGEND			
	Apparent Property Line		Handhole
	Easement Line		Electric Meter
	Setback Line		Utility Pole
	Treeline		Utility Pole w/ Light
	Brushline		Light Pole
	Major Contour		Bollard Light
	Minor Contour		Gas Valve
	Stone Wall		Cleanout
	Retaining Wall		Catch Basin
	Guide Rail		Manhole
	Fence		Fire Hydrant
	Overhead Wires		Water Valve
	Underground Electric Line		Water Meter
	Gas Line		Valve - Utility Type Unknown
	Sanitary Sewer		Sign
	Storm Sewer		Bollard
	Underground Telecommunications Line		Handicap Symbol
	Water Line		Monitoring Well
			Shrub
			Deciduous Tree
			Coniferous Tree



INDEX
SCALE: 1" = 50'

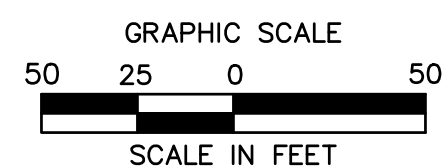
GENERAL NOTES

1. NORTH ARROW AND BEARINGS BASED ON NAD 83 PER GNSS READINGS BY BL COMPANIES IN OCTOBER, 2020 UTILIZING MACORS RTCM3.
2. ELEVATIONS AND CONTOURS ARE BASED ON NAVD88 PER GNSS READINGS BY BL COMPANIES IN OCTOBER, 2020 UTILIZING MACORS RTCM3.
3. PROPERTY IS LOCATED IN FLOOD HAZARD AREA X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. MAP NUMBER 25027C0806, PANEL 809 OF 1075, EFFECTIVE DATE: JULY 4, 2011.
4. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.

SHEET NOTE

1. SEE SHEET EX-2 FOR MAP REFERENCES.

THIS SURVEY WAS PREPARED DURING THE COVID-19 PANDEMIC OF 2020-2021 AT WHICH TIME PHYSICAL ACCESS TO THE LOCAL LAND RECORDS AND OTHER MUNICIPAL OFFICES HAS NOT BEEN AVAILABLE. AS A RESULT, THIS SURVEY HAS BEEN BASED ON TITLE RESEARCH DERIVED FROM ON-LINE RECORDS AND OTHER SOURCES AND IS SUBJECT TO THE RESULTS OF A PROPER TITLE SEARCH.



I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: _____ SIGNED: JENNIFER MARKS P.L.S. #38712

Date:

REVISIONS
No. Date

Surveyed T.N.,J.W.,H.T.
Drawn P.J.C.
Reviewed P.J.C.
Scale 1"=50'
Project No. 2001478
Date 01/08/2021
Field Book 543
CAD File: [Redacted]

Title

EXISTING
CONDITIONS
MAP

Sheet No. 1 of 4

EX-1

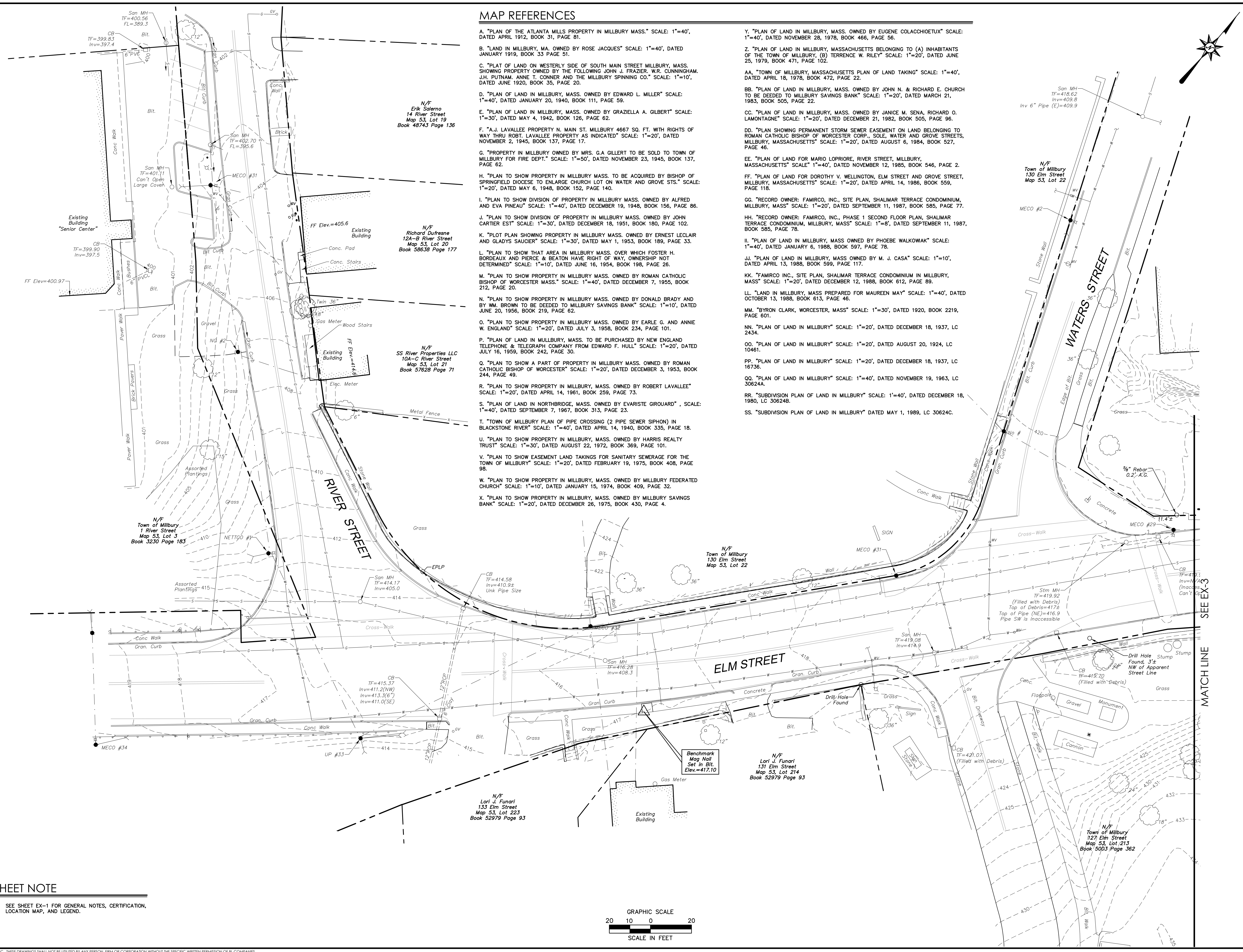
REVISIONS	Date	Desc.
No.		

Surveyed	T.N.J.W.,H.T.
Drawn	T.N.
Reviewed	P.J.C.
Scale	1"=20'
Project No.	2001478
Date	01/08/2021
Field Book	543
CAD File:	01a1.dwg

Title
EXISTING CONDITIONS MAP

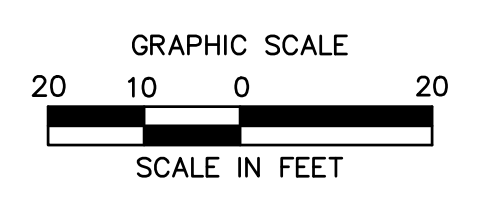
MAP REFERENCES

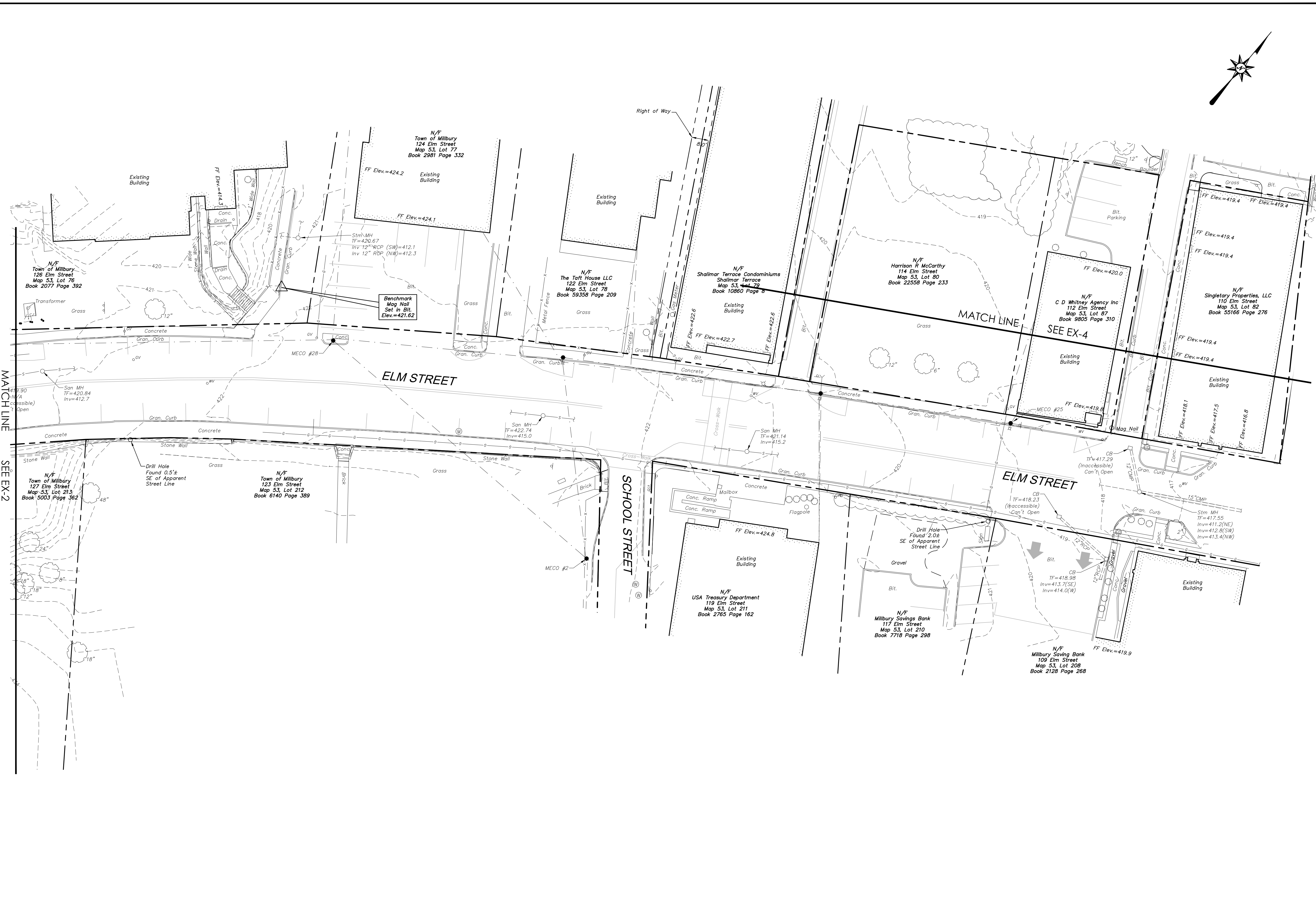
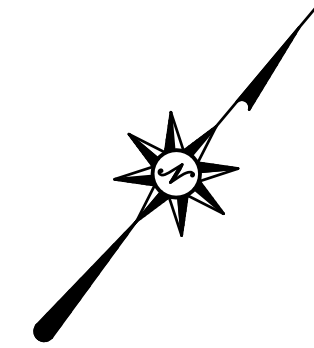
- A. "PLAN OF THE ATLANTA MILLS PROPERTY IN MILLBURY MASS." SCALE: 1"=40', DATED APRIL 1912, BOOK 31, PAGE 81.
- B. "LAND IN MILLBURY, MA. OWNED BY ROSE JACQUES" SCALE: 1"=40', DATED JANUARY 1919, BOOK 33 PAGE 51.
- C. "PLAT OF LAND ON WESTERLY SIDE OF SOUTH MAIN STREET MILLBURY, MASS. SHOWING PROPERTY OWNED BY THE FOLLOWING JOHN J. FRAZIER, W.R. CUNNINGHAM, J.H. PUTNAM, ANNE T. CONNER AND THE MILLBURY SPINNING CO." SCALE: 1"=10', DATED JUNE 1920, BOOK 35, PAGE 20.
- D. "PLAN OF LAND IN MILLBURY, MASS. OWNED BY EDWARD L. MILLER" SCALE: 1"=40', DATED JANUARY 20, 1940, BOOK 111, PAGE 59.
- E. "PLAN OF LAND IN MILLBURY, MASS. OWNED BY GRAZIELLA A. GILBERT" SCALE: 1"=30', DATED MAY 4, 1942, BOOK 126, PAGE 62.
- F. "A.J. LAVALLEE PROPERTY N. MAIN ST. MILLBURY 4667 SQ. FT. WITH RIGHTS OF WAY THRU ROBT. LAVALLEE PROPERTY AS INDICATED" SCALE: 1"=20', DATED NOVEMBER 2, 1945, BOOK 137, PAGE 17.
- G. "PROPERTY IN MILLBURY OWNED BY MRS. G.A. GILLERT TO BE SOLD TO TOWN OF MILLBURY FOR FIRE DEPT." SCALE: 1"=50', DATED NOVEMBER 23, 1945, BOOK 137, PAGE 62.
- H. "PLAN TO SHOW PROPERTY IN MILLBURY MASS. TO BE ACQUIRED BY BISHOP OF SPRINGFIELD DIOCESE TO ENLARGE CHURCH LOT ON WATER AND GROVE STS." SCALE: 1"=20', DATED MAY 6, 1948, BOOK 152, PAGE 140.
- I. "PLAN TO SHOW DIVISION OF PROPERTY IN MILLBURY MASS. OWNED BY ALFRED AND EVA PINEAU" SCALE: 1"=40', DATED DECEMBER 19, 1948, BOOK 156, PAGE 86.
- J. "PLAN TO SHOW DIVISION OF PROPERTY IN MILLBURY MASS. OWNED BY JOHN CARTIER EST" SCALE: 1"=30', DATED DECEMBER 18, 1951, BOOK 180, PAGE 102.
- K. "PLOT PLAN SHOWING PROPERTY IN MILLBURY MASS. OWNED BY ERNEST LECLAIR AND GLADYS SAUCIER" SCALE: 1"=30', DATED MAY 1, 1953, BOOK 189, PAGE 33.
- L. "PLAN TO SHOW THAT AREA IN MILLBURY MASS. OVER WHICH FOSTER H. BORDEAUX AND PIERCE & BEATON HAVE RIGHT OF WAY, OWNERSHIP NOT DETERMINED" SCALE: 1"=10', DATED JUNE 16, 1954, BOOK 198, PAGE 26.
- M. "PLAN TO SHOW PROPERTY IN MILLBURY MASS. OWNED BY ROMAN CATHOLIC BISHOP OF WORCESTER MASS." SCALE: 1"=40', DATED DECEMBER 7, 1955, BOOK 212, PAGE 20.
- N. "PLAN TO SHOW PROPERTY IN MILLBURY MASS. OWNED BY DONALD BRADY AND BY WM. BROWN TO BE DEEDED TO MILLBURY SAVINGS BANK" SCALE: 1"=10', DATED JUNE 20, 1956, BOOK 219, PAGE 62.
- O. "PLAN TO SHOW PROPERTY IN MILLBURY MASS. OWNED BY EARLE G. AND ANNIE W. ENGLAND" SCALE: 1"=20', DATED JULY 3, 1958, BOOK 234, PAGE 101.
- P. "PLAN OF LAND IN MILLBURY, MASS. TO BE PURCHASED BY NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY FROM EDWARD F. HULL" SCALE: 1"=20', DATED JULY 16, 1959, BOOK 242, PAGE 30.
- Q. "PLAN TO SHOW A PART OF PROPERTY IN MILLBURY MASS. OWNED BY ROMAN CATHOLIC BISHOP OF WORCESTER" SCALE: 1"=20', DATED DECEMBER 3, 1953, BOOK 244, PAGE 49.
- R. "PLAN TO SHOW PROPERTY IN MILLBURY, MASS. OWNED BY ROBERT LAVALLEE" SCALE: 1"=20', DATED APRIL 14, 1961, BOOK 259, PAGE 73.
- S. "PLAN OF LAND IN NORTHBRIDGE, MASS. OWNED BY EVARISTE GIROUARD", SCALE: 1"=40', DATED SEPTEMBER 7, 1967, BOOK 313, PAGE 23.
- T. "TOWN OF MILLBURY PLAN OF PIPE CROSSING (2 PIPE SEWER SIPHON) IN BLACKSTONE RIVER" SCALE: 1"=40', DATED APRIL 14, 1940, BOOK 335, PAGE 18.
- U. "PLAN TO SHOW PROPERTY IN MILLBURY, MASS. OWNED BY HARRIS REALTY TRUST" SCALE: 1"=30', DATED AUGUST 22, 1972, BOOK 369, PAGE 101.
- V. "PLAN TO SHOW EASEMENT LAND TAKINGS FOR SANITARY SEWERAGE FOR THE TOWN OF MILLBURY" SCALE: 1"=20', DATED FEBRUARY 19, 1975, BOOK 408, PAGE 98.
- W. "PLAN TO SHOW PROPERTY IN MILLBURY, MASS. OWNED BY MILLBURY FEDERATED CHURCH" SCALE: 1"=10', DATED JANUARY 15, 1974, BOOK 409, PAGE 32.
- X. "PLAN TO SHOW PROPERTY IN MILLBURY, MASS. OWNED BY MILLBURY SAVINGS BANK" SCALE: 1"=20', DATED DECEMBER 26, 1975, BOOK 430, PAGE 4.
- Y. "PLAN OF LAND IN MILLBURY, MASS. OWNED BY EUGENE COLACCHIOETUX" SCALE: 1"=40', DATED NOVEMBER 28, 1978, BOOK 466, PAGE 56.
- Z. "PLAN OF LAND IN MILLBURY, MASSACHUSETTS BELONGING TO (A) INHABITANTS OF THE TOWN OF MILLBURY, (B) TERRENCE W. RILEY" SCALE: 1"=20', DATED JUNE 25, 1979, BOOK 471, PAGE 102.
- AA. "TOWN OF MILLBURY, MASSACHUSETTS PLAN OF LAND TAKING" SCALE: 1"=40', DATED APRIL 18, 1978, BOOK 472, PAGE 22.
- BB. "PLAN OF LAND IN MILLBURY, MASS. OWNED BY JOHN N. & RICHARD E. CHURCH TO BE DEEDED TO MILLBURY SAVINGS BANK" SCALE: 1"=20', DATED MARCH 21, 1983, BOOK 505, PAGE 22.
- CC. "PLAN OF LAND IN MILLBURY, MASS. OWNED BY JANICE M. SENA, RICHARD O. LAMONTAGNE" SCALE: 1"=20', DATED DECEMBER 21, 1982, BOOK 505, PAGE 96.
- DD. "PLAN SHOWING PERMANENT STORM SEWER EASEMENT ON LAND BELONGING TO ROMAN CATHOLIC BISHOP OF WORCESTER CORP., SOLE, WATER AND GROVE STREETS, MILLBURY, MASSACHUSETTS" SCALE: 1"=20', DATED AUGUST 6, 1984, BOOK 527, PAGE 46.
- EE. "PLAN OF LAND FOR MARIO LOPRIORE, RIVER STREET, MILLBURY, MASSACHUSETTS" SCALE: 1"=40', DATED NOVEMBER 12, 1985, BOOK 546, PAGE 2.
- FF. "PLAN OF LAND FOR DOROTHY V. WELLINGTON, ELM STREET AND GROVE STREET, MILLBURY, MASSACHUSETTS" SCALE: 1"=20', DATED APRIL 14, 1986, BOOK 559, PAGE 118.
- GG. "RECORD OWNER: FAMIRCO, INC., SITE PLAN, SHALIMAR TERRACE CONDOMINIUM, MILLBURY, MASS" SCALE: 1"=20', DATED SEPTEMBER 11, 1987, BOOK 585, PAGE 77.
- HH. "RECORD OWNER: FAMIRCO, INC., PHASE 1 SECOND FLOOR PLAN, SHALIMAR TERRACE CONDOMINIUM, MILLBURY, MASS" SCALE: 1"=8', DATED SEPTEMBER 11, 1987, BOOK 585, PAGE 78.
- II. "PLAN OF LAND IN MILLBURY, MASS OWNED BY PHOEBE WALKOWIAK" SCALE: 1"=40', DATED JANUARY 6, 1988, BOOK 597, PAGE 78.
- JJ. "PLAN OF LAND IN MILLBURY, MASS OWNED BY M. J. CASA" SCALE: 1"=10', DATED APRIL 13, 1988, BOOK 599, PAGE 117.
- KK. "FAMIRCO INC., SITE PLAN, SHALIMAR TERRACE CONDOMINIUM IN MILLBURY, MASS" SCALE: 1"=20', DATED DECEMBER 12, 1988, BOOK 612, PAGE 89.
- LL. "LAND IN MILLBURY, MASS PREPARED FOR MAUREEN MAY" SCALE: 1"=40', DATED OCTOBER 13, 1988, BOOK 613, PAGE 46.
- MM. "BYRON CLARK, WORCESTER, MASS" SCALE: 1"=30', DATED 1920, BOOK 2219, PAGE 601.
- NN. "PLAN OF LAND IN MILLBURY" SCALE: 1"=20', DATED DECEMBER 18, 1937, LC 2434.
- OO. "PLAN OF LAND IN MILLBURY" SCALE: 1"=20', DATED AUGUST 20, 1924, LC 10461.
- PP. "PLAN OF LAND IN MILLBURY" SCALE: 1"=20', DATED DECEMBER 18, 1937, LC 16736.
- QQ. "PLAN OF LAND IN MILLBURY" SCALE: 1"=40', DATED NOVEMBER 19, 1963, LC 30624A.
- RR. "SUBDIVISION PLAN OF LAND IN MILLBURY" SCALE: 1"=40', DATED DECEMBER 18, 1980, LC 30624B.
- SS. "SUBDIVISION PLAN OF LAND IN MILLBURY" DATED MAY 1, 1989, LC 30624C.



SHEET NOTE

- 1. SEE SHEET EX-1 FOR GENERAL NOTES, CERTIFICATION, LOCATION MAP, AND LEGEND.

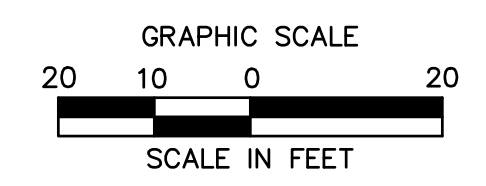




MATCH LINE SEE EX-2

MATCH LINE

SEE EX-4

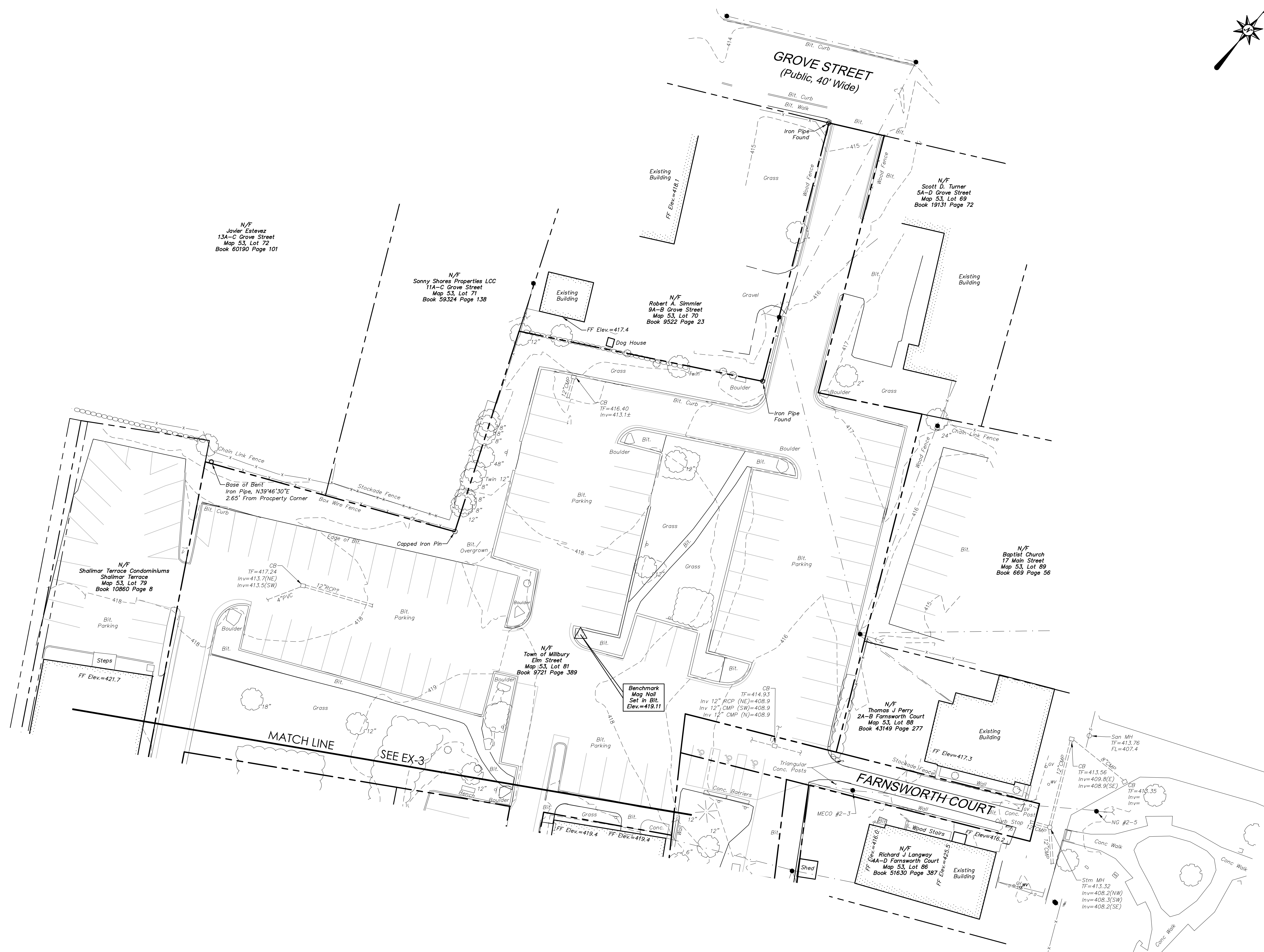
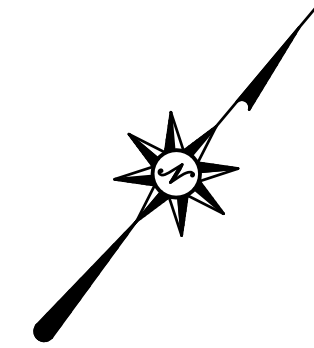


MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MASSACHUSETTS

REVISIONS	Date	Desc.
No.		

Surveyed T.N., J.W., H.T.
Drawn T.N.
Reviewed P.J.C.
Scale 1"=20'
Project No. 2001478
Date 01/08/2021
Field Book 543
CAD File: [redacted]

Title
EXISTING CONDITIONS MAP



N/F
Javier Estevez
13A-C Grove Street
Map 53, Lot 72
Book 60190 Page 101

N/F
Sonny Shores Properties LLC
11A-C Grove Street
Map 53, Lot 71
Book 59324 Page 138

N/F
Robert A. Simmler
9A-B Grove Street
Map 53, Lot 70
Book 9522 Page 23

N/F
Scott D. Turner
5A-D Grove Street
Map 53, Lot 69
Book 19131 Page 72

N/F
Shalimar Terrace Condominiums
Shalimar Terrace
Map 53, Lot 79
Book 10890 Page 8

N/F
Town of Millbury
Elm Street
Map 53, Lot 81
Book 9721 Page 389

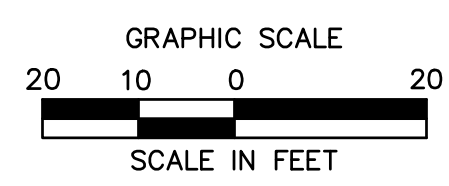
N/F
Baptist Church
17 Main Street
Map 53, Lot 89
Book 669 Page 56

N/F
Thomas J. Perry
2A-B Farnsworth Court
Map 53, Lot 88
Book 43149 Page 277

N/F
Richard J. Langway
4A-D Farnsworth Court
Map 53, Lot 86
Book 51630 Page 387

Benchmark
Mag Nail
Set in Bit.
Elev.=419.11

MATCH LINE
SEE EX-3



MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MASSACHUSETTS

REVISIONS	Date	Drawn	By
No.			

Surveyed T.N., J.W., H.T.
 Drawn T.N.
 Reviewed P.J.C.
 Scale 1"=20'
 Project No. 2001478
 Date 01/08/2021
 Field Book 543
 CAD File:

Title
**EXISTING
CONDITIONS
MAP**

Sheet No. 4 of 4

EX-4

GENERAL NOTES:

1. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME AND COORDINATE WITH THE ENGINEER AND OWNER AS REQUIRED.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY ALL CONSTRUCTION MEANS AND METHODS.
3. LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND/OR AS INDICATED ON THE PLANS.
4. PORTIONS OF THE ROADWAY, SIDEWALK AND ROADSIDE AREA DISTURBED BY THE CONTRACTORS OPERATIONS SHALL BE RESTORED TO THEIR CONDITIONS PRIOR TO DISTURBANCE.
5. CONTRACTOR TO VERIFY UTILITY CONNECTION LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.
6. ANY ALTERATIONS TO THE PLAN SET MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
7. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
8. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
9. FOR DRAWING LEGIBILITY, ALL TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
10. NEW EXCAVATION AND TRENCH SAFETY REGULATIONS ARE IN EFFECT AS OF MARCH 1, 2015 (REFER TO 520 CMR 14.00). ALL EXCAVATORS OR CONTRACTORS MUST OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TO TRENCHES ON SITE.
11. THE CONTRACTOR SHALL IDENTIFY, LOCATE, AND PROTECT ALL EXISTING BOUNDS, MONUMENTS, AND BENCHMARKS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER BEFORE ANY DISTURBANCE OR RELOCATION.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
13. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN CLEAR ACCESSIBLE PATHS NO LESS THAN 4' WIDE FOR ALL PEDESTRIANS.
14. THE CONTRACTOR SHALL NOT BE ALLOWED TO STORE ANY EXCESS MATERIAL WITHIN THE PROJECT LIMITS.
15. AT NO TIME SHALL THE CONTRACTOR BE ALLOWED TO STORE ANY EQUIPMENT, TOOLS, OR MATERIALS OUTSIDE OF THE EXISTING RIGHT-OF-WAY. THE CONTRACTOR SHALL ENSURE PROPER SIGHT DISTANCE IS MAINTAINED AT ALL INTERSECTIONS AND DRIVEWAYS AT ALL TIMES.
16. AT THE END OF EACH WORK DAY, ANY EQUIPMENT, TOOLS, AND MATERIALS, INCLUDING SURPLUS FROM EXCAVATIONS, THAT ARE NOT TO BE RE-USED WITHIN 24 HOURS SHALL BE REMOVED FROM THE SITE UNLESS PREVIOUSLY APPROVED BY THE ENGINEER.
17. CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
18. EXISTING BUSINESS SIGNS IMPACTED BY THE PROJECT SHALL BE REMOVED BY THE CONTRACTOR AND RELOCATED AS DIRECTED BY INSPECTION PERSONNEL OR BY THE ENGINEER.
19. FINAL GRADE FOR NEW CONCRETE SIDEWALK TO MATCH EXISTING WHERE POSSIBLE AND AT ALL EXISTING MANHOLE RIMS AND/OR CATCH BASIN FRAMES, WHEN RESET NOT SPECIFIED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
20. EXISTING CURBING TO BE REMOVED AND REPLACED IN KIND WITHIN THE LIMITS OF ALL DRIVEWAY RECONSTRUCTION.
21. ALL ACCESSIBLE PARKING SPACES AND WALKWAYS MUST BE CONSTRUCTED TO MEET 521 CMR (MASSACHUSETTS ARCHITECTURAL ACCESS BOARD) REQUIREMENTS AND SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.
22. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
23. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF ANY SUCH CONFLICT BETWEEN THE GEOTECHNICAL REPORT AND THE PLANS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
24. THESE PLANS ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH OTHER SITE FEATURES.
25. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST NOTIFY THE ENGINEER IF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES EXISTING PRIOR TO PROCEEDING WITH THE WORK. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE/REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THE PLAN SET PRIOR TO CONTRACTOR GIVING ENGINEER NOTICE.
26. DEBRIS MUST NOT BE BURIED ON THE SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT.
27. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES, BUILDINGS AND INFRASTRUCTURE WHICH ARE TO REMAIN AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED IN THE PROJECT.
28. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
29. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
30. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
31. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
32. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME THE ENGINEER AND ITS SUBCONTRACTORS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST CARRY THROUGH THE ENTIRE PERIOD OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
33. NEITHER THE PROFESSION ACTIVITIES OF THE ENGINEER, NOR THE PRESENCE OF THE ENGINEER AND/OR SUBCONSULTANTS AT A PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING WITH THE CONSTRUCTION DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY.
34. IF THE CONTRACTOR DEVIATES FROM THE CONTRACT DOCUMENTS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING FROM THE DEVIATIONS.
35. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.
36. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
37. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS.
38. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES.
39. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
40. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
41. CONTRACTOR MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS.
42. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

DEMOLITION & SITE PREPARATION NOTES:

1. THE CONTRACTOR SHALL INCLUDE THE BID COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION AND DEMOLITION REQUIREMENTS AND TO DETERMINE EXCAVATION AND DEMOLITION REQUIREMENTS AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS TRANSPORTED TO A DESIGNATED MUNICIPAL PROPERTY AT NO ADDITIONAL COST. ALL GEOTECHNICALLY OR UNSUITABLE EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE TOWN. REMOVAL ACTIVITIES SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE TOWN.
3. UNLESS SPECIFICALLY NOTED TO BE REMOVED AND STOCKPILED (R&S) OR REUSED AND RELOCATED (R&R), ALL SITE FEATURES CALLED TO BE REMOVED AND DEMOLISHED (R&D) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC. TRANSPORTED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO ADDITIONAL COST TO THE OWNER.
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
6. IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER'S REPRESENTATIVE, TO REUSE EXISTING BITUMINOUS CONCRETE PAVEMENT BASE COURSE AND/OR SUB BASE GRAVEL MATERIALS IF IT MEETS THE REQUIREMENT OF THE SPECIFICATIONS FOR DENSE GRADED CRUSHED STONE.
7. STRIP AND STOCKPILE EXISTING TOPSOIL FOR LATER REUSE AS REQUIRED. STOCKPILE SHALL HAVE APPROPRIATE EROSION AND SEDIMENT CONTROLS. THE CONTRACTOR SHALL CONFIRM THAT THE TOPSOIL IS SUITABLE FOR REUSE AND IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR TOPSOIL LOAM BORROW.
8. CLEAR AND GRUB VEGETATION SHALL INCLUDE REMOVAL OF ALL GRASS/LAWN, SHRUBS, UNDERBRUSH, REMOVAL OF ROOTS.
9. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN (SEE DETAIL). THE CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIERS AFTER CLEARING TURF AND UNDERBRUSH BY HAND AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.
10. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL TREES TO REMAIN SHALL BE PRUNED BY LICENSED ARBORIST. CONTRACTOR MUST CONSULT WITH THE TOWN OF MILLBURY'S TREE WARDEN PRIOR TO ANY PRUNING WORK.
12. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
13. THE ENGINEER AND OWNER HAVE NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
14. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THE CONSTRUCTION DOCUMENTS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH THE ENGINEER, IN WRITING, AND RESPONDED TO BY THE ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REGULATIONS, STATUTES, ORDINANCES AND CODES.
15. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR: 1) OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THEM ON SITE FOR REVIEW BY THE TOWN OF MILLBURY, THE JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK; 2) NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND OWNER, 72 HOURS PRIOR TO THE START OF WORK; 3) INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE; 4) IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION; 5) LOCATING AND PROTECTING ALL UTILITIES AND SERVICES WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES; THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES; 6) PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES; 7) ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS; 8) COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER; AND 9) IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
16. THE ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
17. THE CONTRACTOR MUST PROVIDE ALL MEANS AND METHODS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN.
18. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
19. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
20. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
21. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
22. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.
23. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
24. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
25. THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALDUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
26. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
27. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
28. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
29. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES TO BE PROBABLY PROVIDED TO THE OWNER UPON REQUEST.
30. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR BELIEVED TO BE PRESENT. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

LAYOUT NOTES:

1. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING, AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
2. ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY OWNER"
3. THE LAYOUT OF SITE AMENITIES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
5. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO TH OWNER.

GRADING & UTILITIES NOTES:

1. ALL WORK RELATING TO INSTALLATION, RENOVATION, OR MODIFICATION OF DRAINAGE SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF MILLBURY AND ITS DEPARTMENT OF PUBLIC WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, AND INVERT ELEVATIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER AND OWNER'S REPRESENTATIVE.
3. ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS AND 521 CMR MAAB STANDARDS. WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF PERCENT MAXIMUM AND THE RUNNING SLOPE (PARALLEL TO DIRECTION OF TRAVEL) OF 4.5% MAXIMUM.
4. MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
5. ALL UTILITY GRATES, COVERS, OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES REGARDLESS OF WHETHER THEY ARE INDICATED AS ADJUSTED (ADJ.) ON PLANS
6. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS, AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/ PRIVATE STREETS AND WORK AREAS, CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
7. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING
8. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
9. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR POUNDS AT ALL TOP AND BOTTOM OF SLOPES.
10. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
11. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.
12. WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PAVEMENTS, TYPICAL
13. ROADWAY CROSS SLOPES MAY VARY BUT SHALL NOT EXCEED 3% CONTRACTOR SHALL NOTIFY THE TOWNS REPRESENTATIVE IF ANY DISCREPANCIES OCCUR.
14. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES WITHIN THE LIMITS OF DISTURBANCE OR THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE ENGINEER, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
16. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
17. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
18. THE CONTRACTOR MUST INSTALL ALL STORM SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
19. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
20. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITHIN THE LIMITS OF DISTURBANCE IDENTIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER, OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
21. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
22. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
23. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
24. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL SUITABLE MATERIALS AS IDENTIFIED IN THE GEOTECHNICAL REPORT, MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
25. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
26. DURING THE INSTALLATION OF ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE INSTALLATION LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
27. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 1% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK.
28. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 1% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
29. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
30. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.
31. REINFORCED CONCRETE (RCP) STORM DRAINAGE PIPE MUST BE CLASS III WITH SILT TIGHT JOINTS. HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT.
32. STORM PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
33. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

EROSION & SEDIMENT CONTROL NOTES:

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO PLANS FOR APPROXIMATE LOCATION OF EROSION AND SEDIMENT CONTROL. REFER TO SPECIFICATION AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR SHALL MEET ALL THE STATE OF MASSACHUSETTS AND THE TOWN OF MILLBURY WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
4. EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5. ALL CATCH BASINS AND DRAIN GRATES WITHIN THE LIMIT OF WORK SHALL BE PROTECTED WITH SILT SACKS DURING THE ENTIRE DURATION OF CONSTRUCTION
6. EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE GRADING AND DRAINAGE PLANS, NOTES, DETAILS, AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE OWNER'S REPRESENTATIVE AND MASSACHUSETTS D.E.P REQUIREMENTS.
8. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/ PRIVATE ROADS.
9. ALL MATERIAL HAULING VEHICLES SHALL BE COMPLETELY COVERED PRIOR TO LEAVING THE SITE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR WHEEL CLEANING OF ALL CONSTRUCTION VEHICLES PRIOR TO EXITING THE SITE. CONTRACTOR SHALL ENSURE THAT MATERIAL HAULING VEHICLES REMAIN ON PAVED SURFACES AS MUCH AS POSSIBLE.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
12. ANY EROSION AND SEDIMENT CONTROL MEASURES FOR THE STABILIZATION OF SLOPES ARE TEMPORARY FOR CONSTRUCTION PHASES ONLY. SEE GRADING PLAN FOR FINAL STABILIZATION OF SLOPES.
13. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
14. DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSES IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
15. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM.
16. ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK SHALL BE PROTECTED.
17. AFTER SIGNIFICANT RAINFALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
18. ALL STOCKPILES SHALL BE PROTECTED. STOCKPILES SHALL BE PROTECTED FROM CONTACT WITH ONSITE STORMWATER RUNOFF USING TEMPORARY PERIMETER SEDIMENT BARRIERS. A COVER (TARP) OR APPROPRIATE TEMPORARY STABILIZATION WILL BE PROVIDED TO MINIMIZE SEDIMENT DISCHARGE.
19. STABILIZED PORTIONS OF A SITE SHALL BE INSPECTED AT LEAST ONCE PER MONTH.
20. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
21. ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. TOPSOIL NOT NEEDED AFTER COMPLETION OF ALL FINAL TOPSOIL SPREADING AND GRASSING SHALL BE REMOVED FROM THE SITE AND LEGALLY RECYCLED OR DISPOSED OF. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
22. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.
23. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROJECT PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION ACTIVITIES.
24. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION.
25. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE THE MINIMUM PROVISIONS NECESSARY. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORSEEN EROSION PROBLEMS, AT NO ADDITIONAL EXPENSE TO THE OWNER.
26. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCES.
27. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED PRIOR TO THE BEGINNING OF CONSTRUCTION CONSISTENT WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT. THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH CONDITIONS OF THE swPPP THROUGHOUT CONSTRUCTION.

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220 Norwood Park South
Norwood, MA 02062
(781) 619-9500

MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

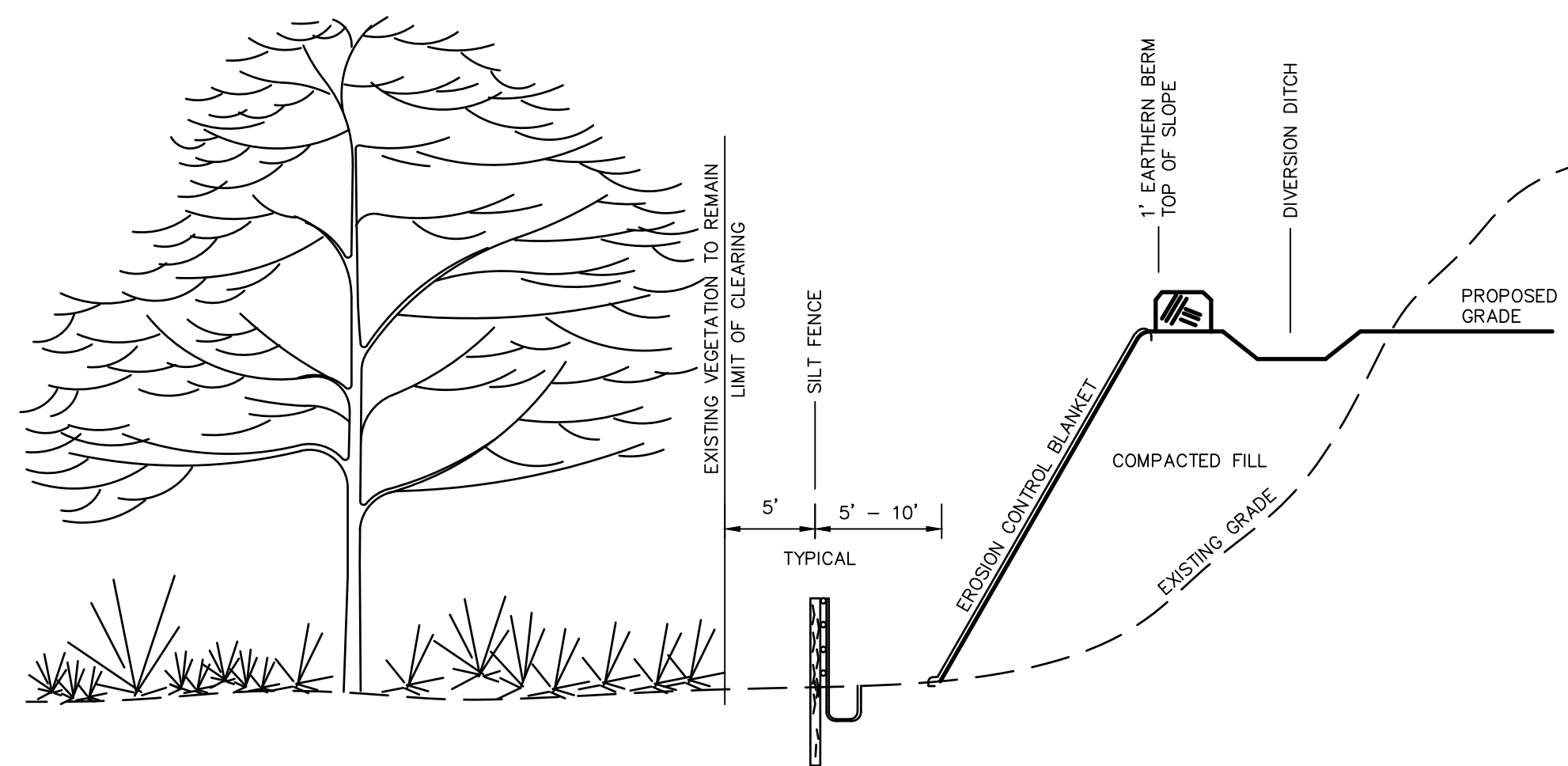
REVISIONS
No. Date Desc.

Designed	K.A.
Drawn	K.A.
Reviewed	M.M.
Scale	
Project No.	2001478
Date	May, 2021
CAD File:	DNZ00147801

Title
**SEDIMENTATION
& EROSION
CONTROL
NOTES**

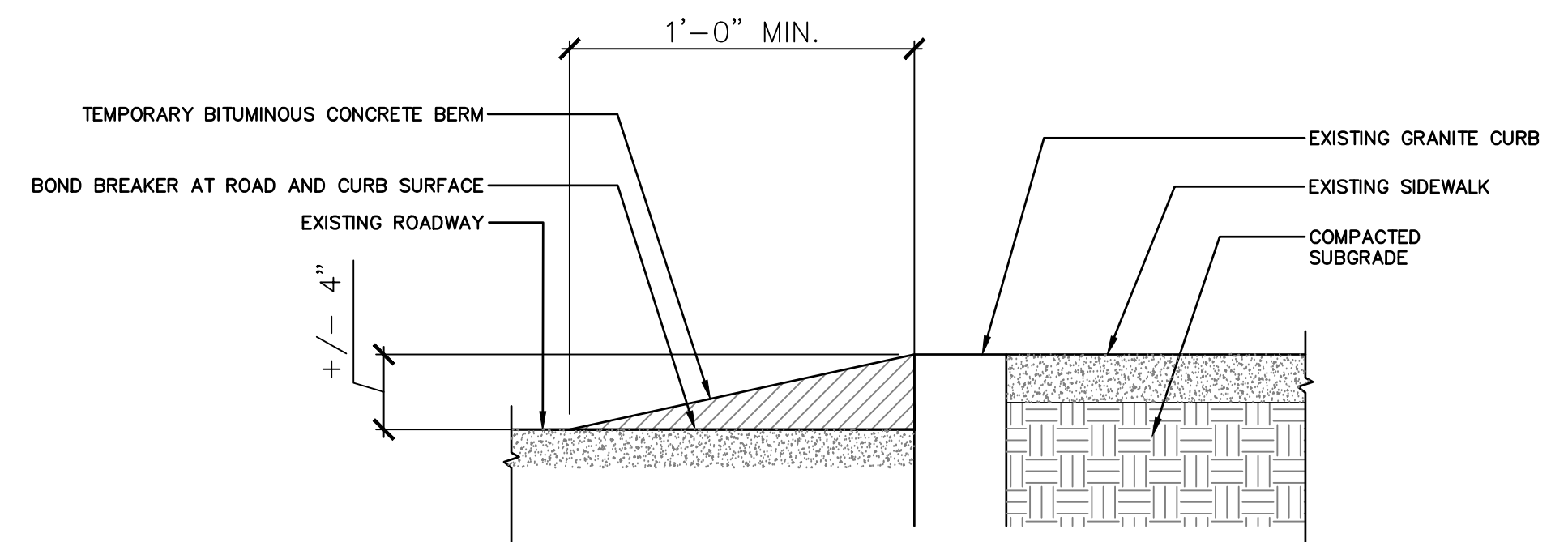
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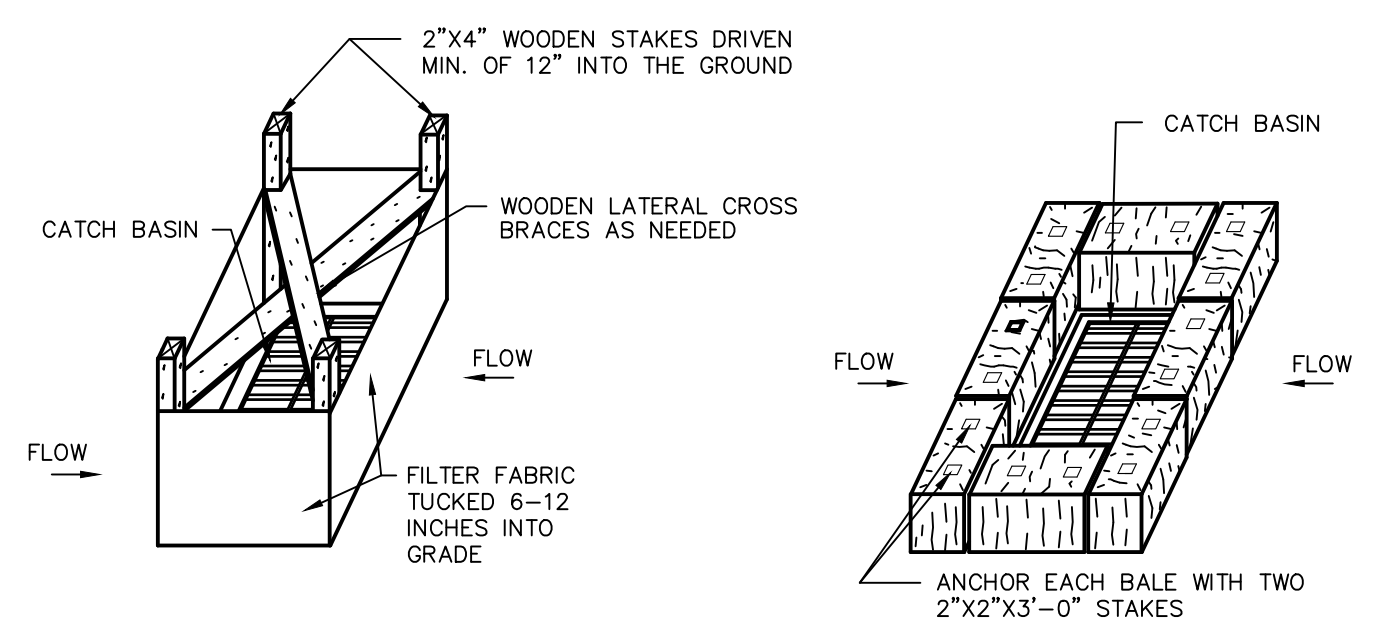
TYPICAL EROSION CONTROL ON SLOPES

N.T.S. BLEC-011



TEMPORARY MOUNTING CURB

N.T.S.



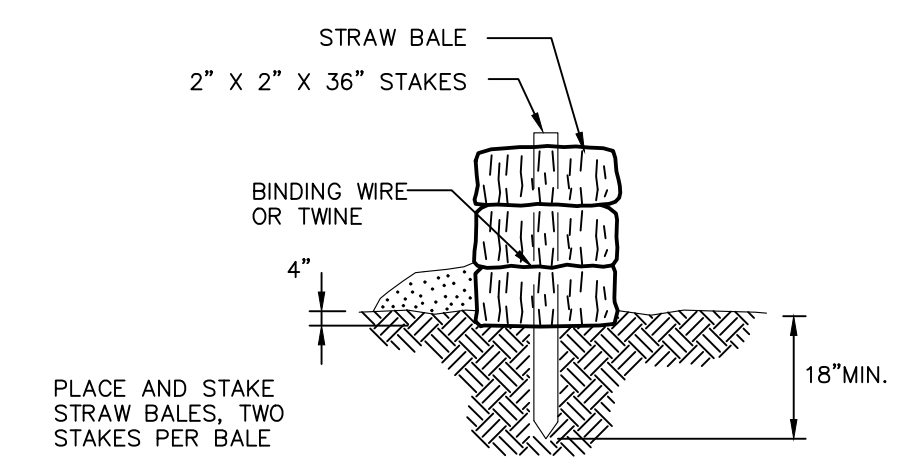
SILT FENCE INSTALLATION AT CATCH BASINS AT LOW POINTS

STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS, MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT.

HAY BALE FILTER INSTALLATION AT CATCH BASIN AT LOW POINTS

CATCH BASIN EROSION CONTROL

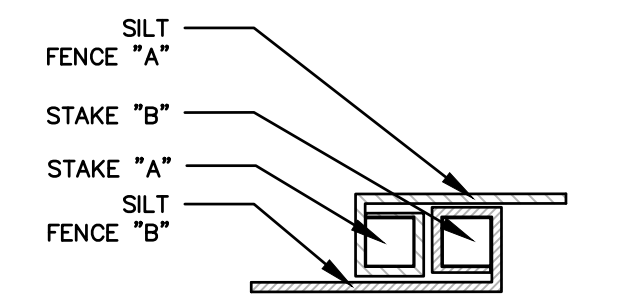
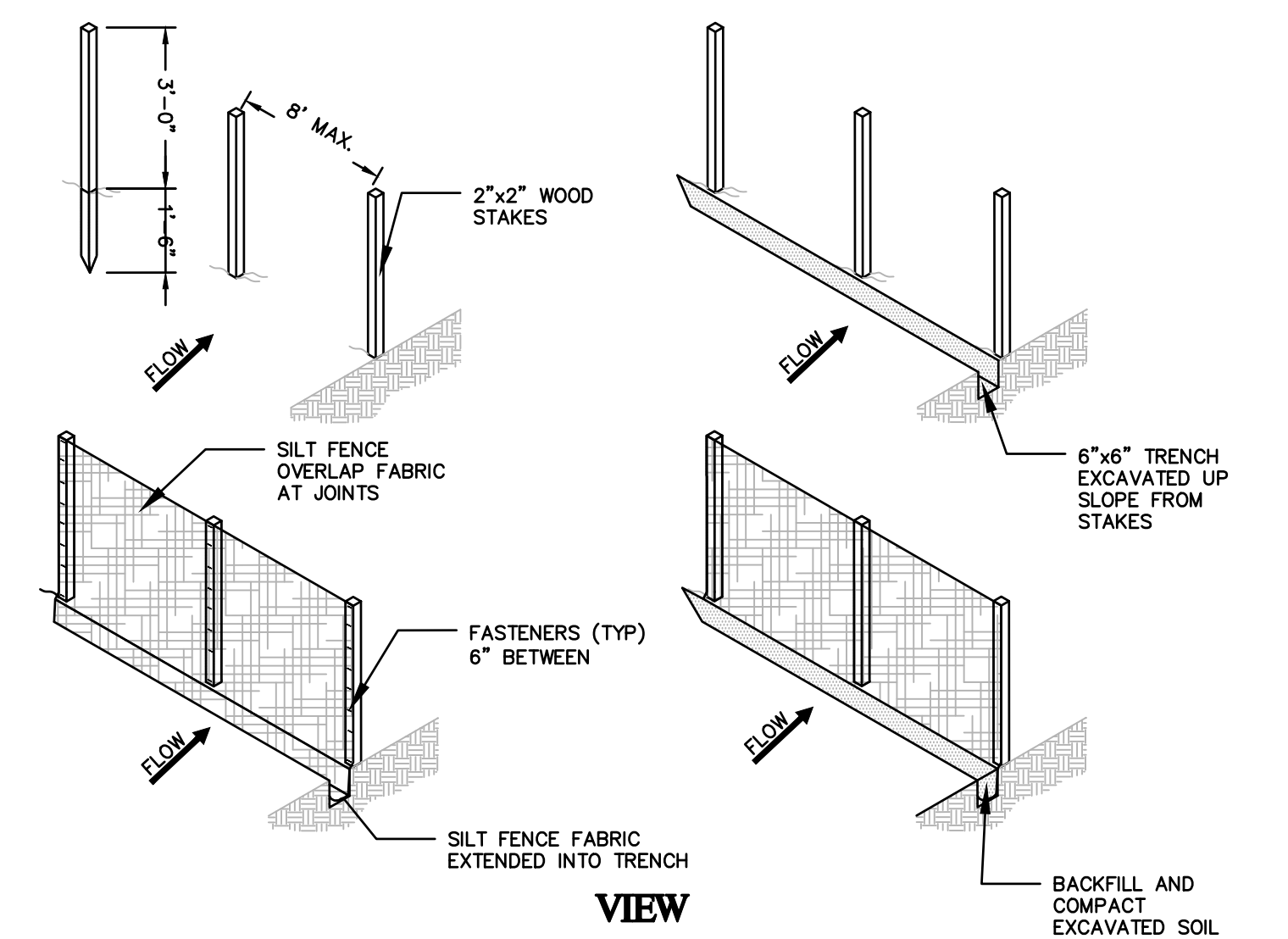
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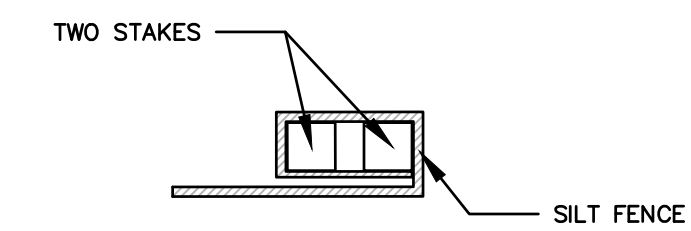
STRAW BALE BARRIERS SHOULD NOT BE USED FOR MORE THAN 3 MONTHS. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE BARRIER. ANY SECTION OF STRAW BALE BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

STRAW BALE DETAIL

N.T.S. BLEC-007



JOINT DETAIL

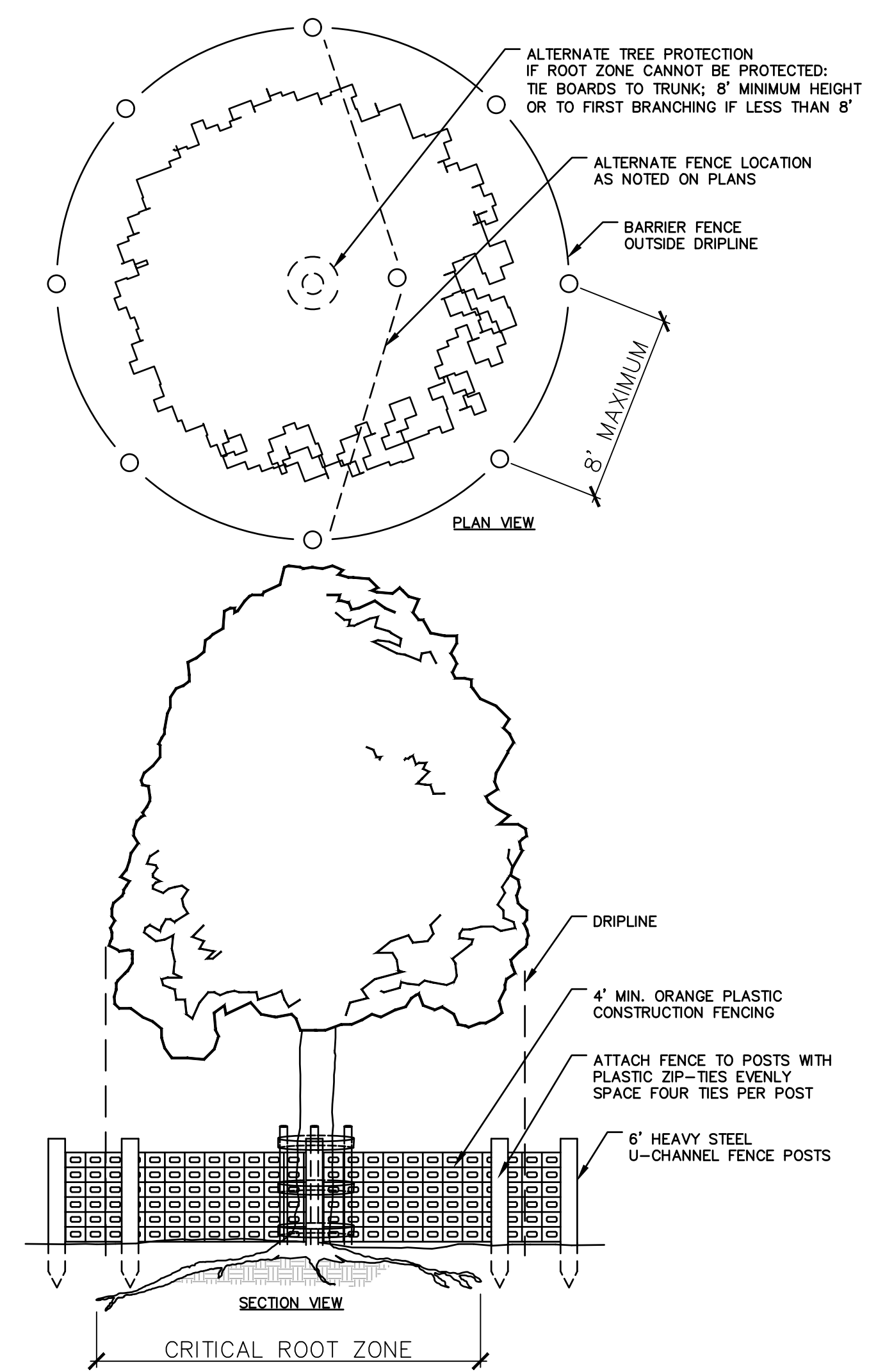


END JOINT DETAIL

INSPECTION SCHEDULE SHALL COMPLY WITH THE 2008 EPA CONSTRUCTION GENERAL PERMIT. MAINTENANCE SHALL OCCUR WHEN NECESSARY AND PER SEDIMENT AND EROSION CONTROL NOTES. SILT FENCE SHALL BE REPLACED EVERY 6 MONTHS AND STACKS SHALL BE INSPECTED TO ENSURE STRUCTURAL INTEGRITY. SILT FENCE SHALL BE INSPECTED WEEKLY AND ALL MAINTENANCE ISSUES SHALL BE CORRECT AT THAT TIME.

SILT FENCE BARRIER

N.T.S.



TREE PROTECTION

N.T.S.

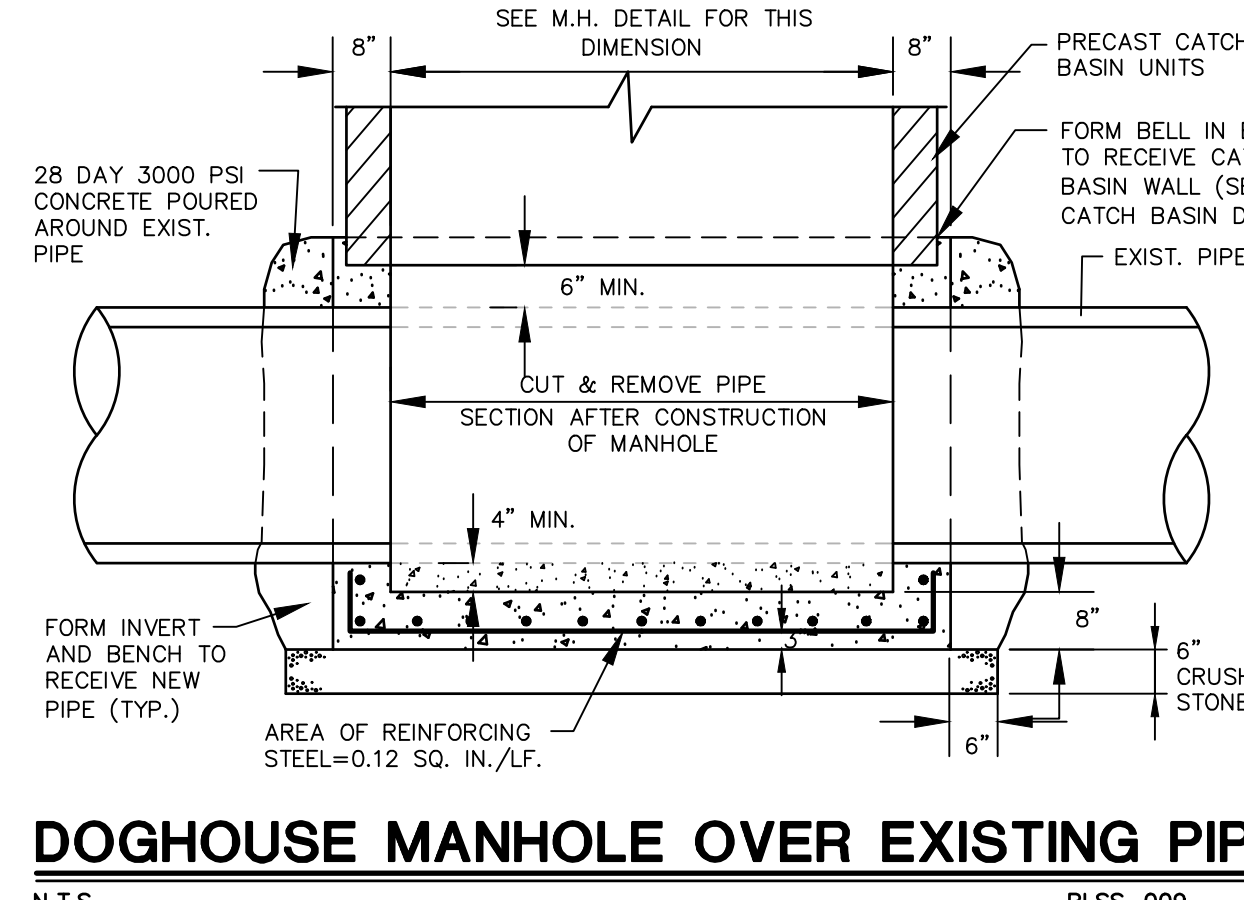
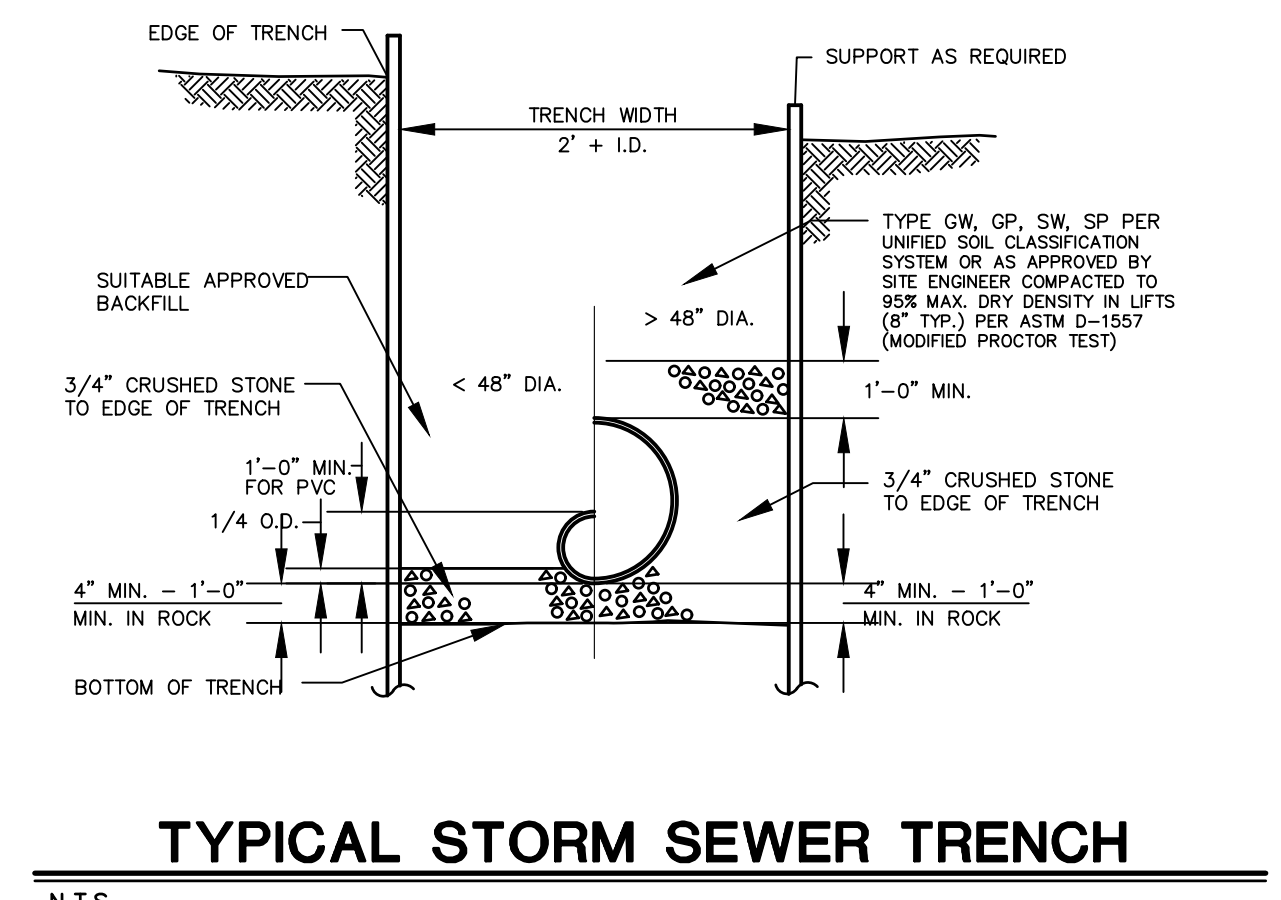
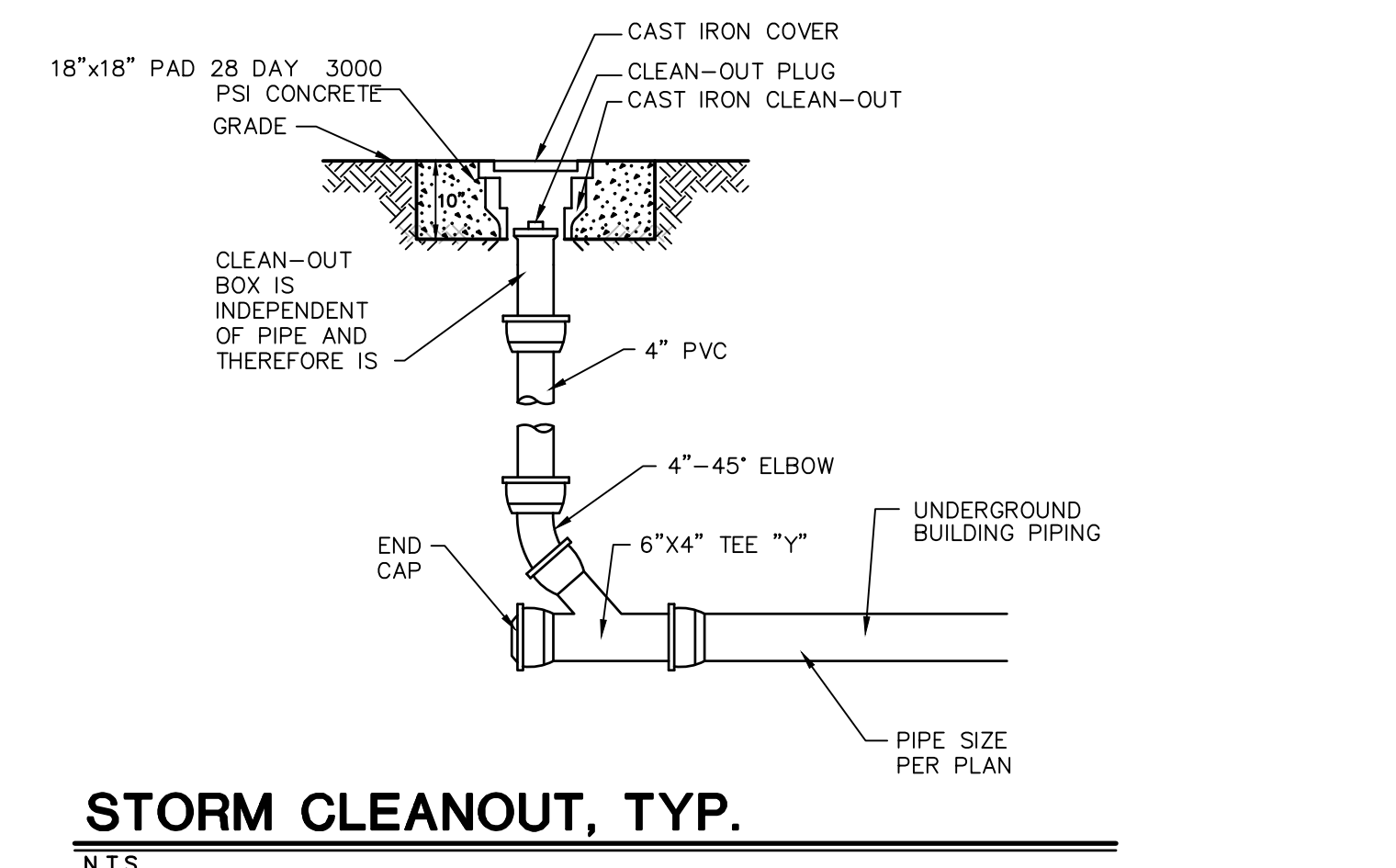
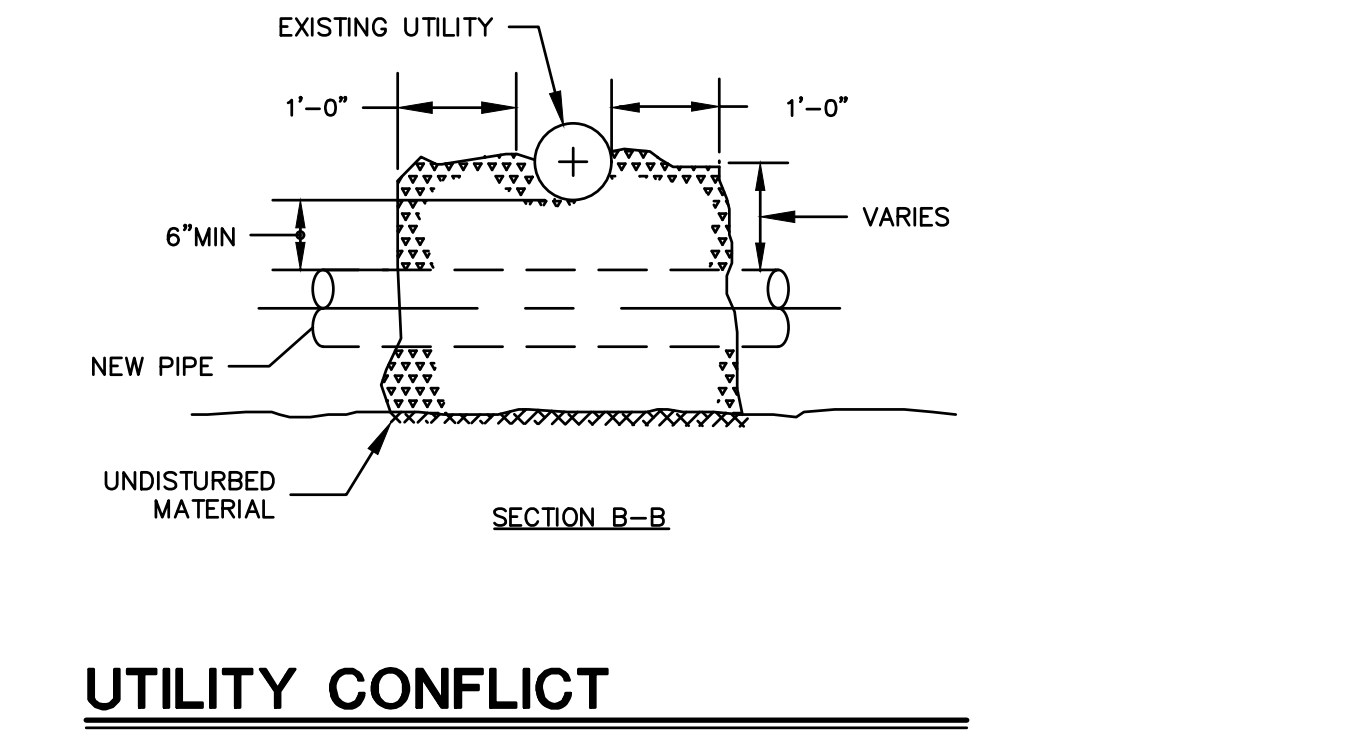
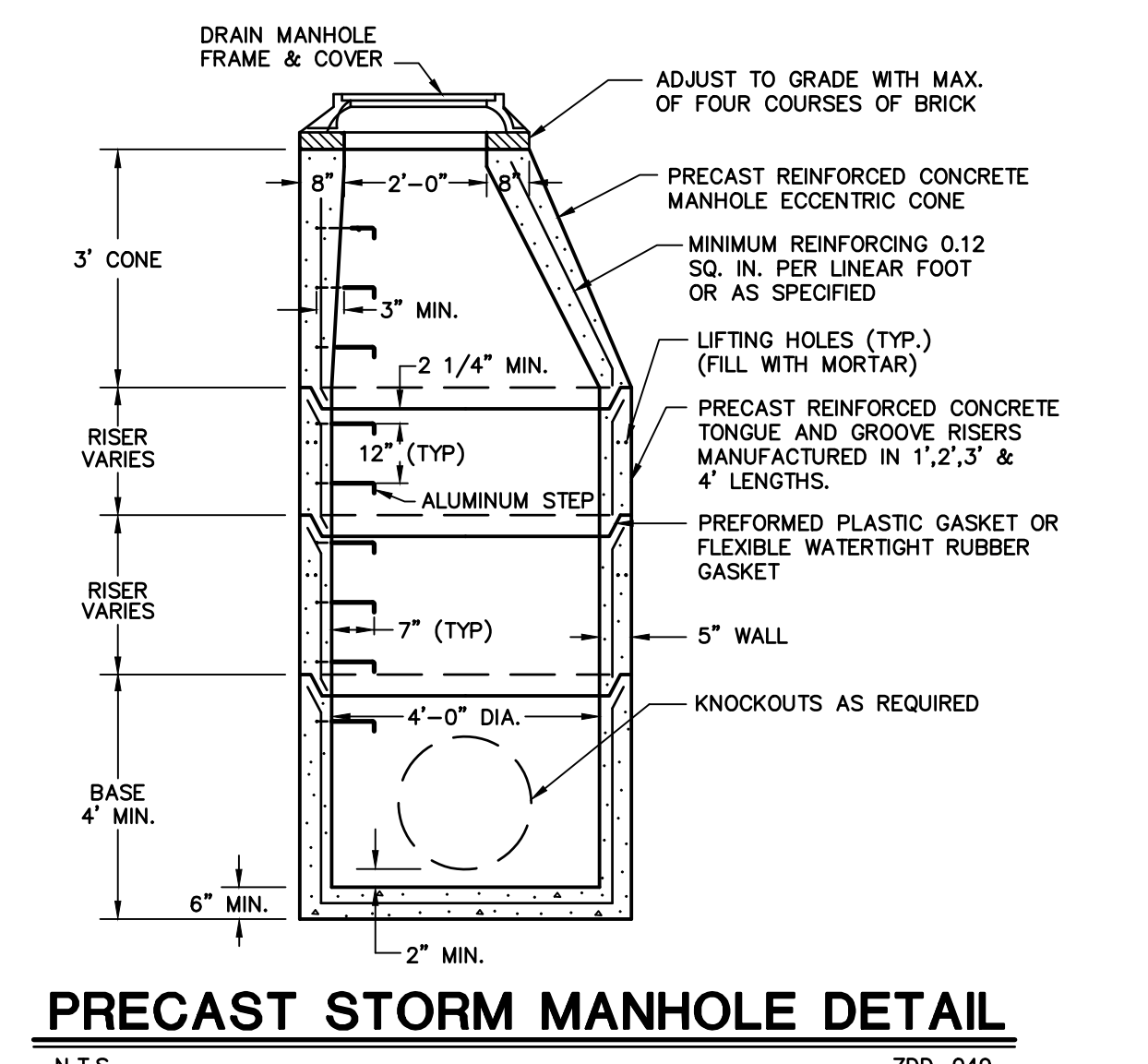
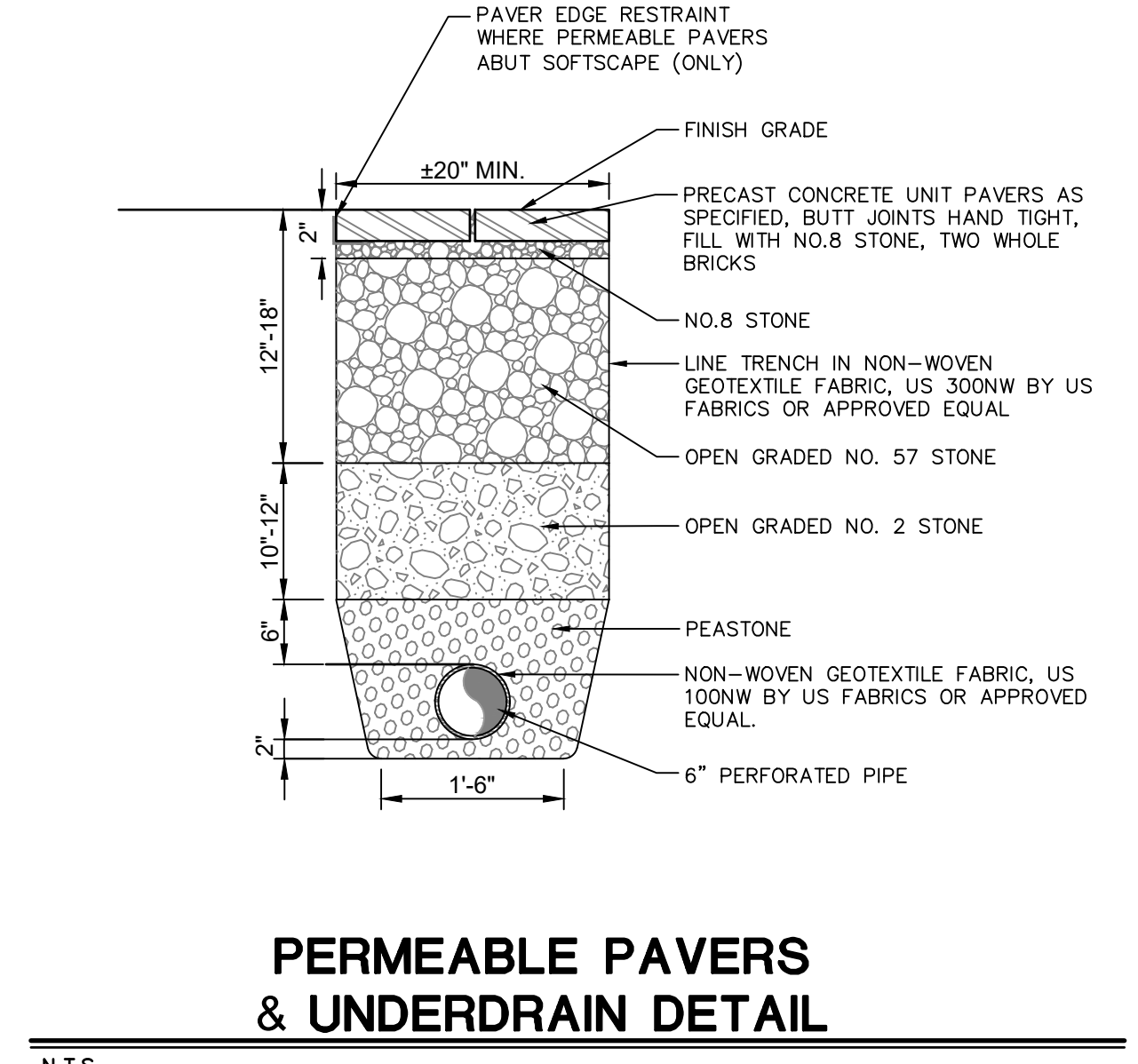
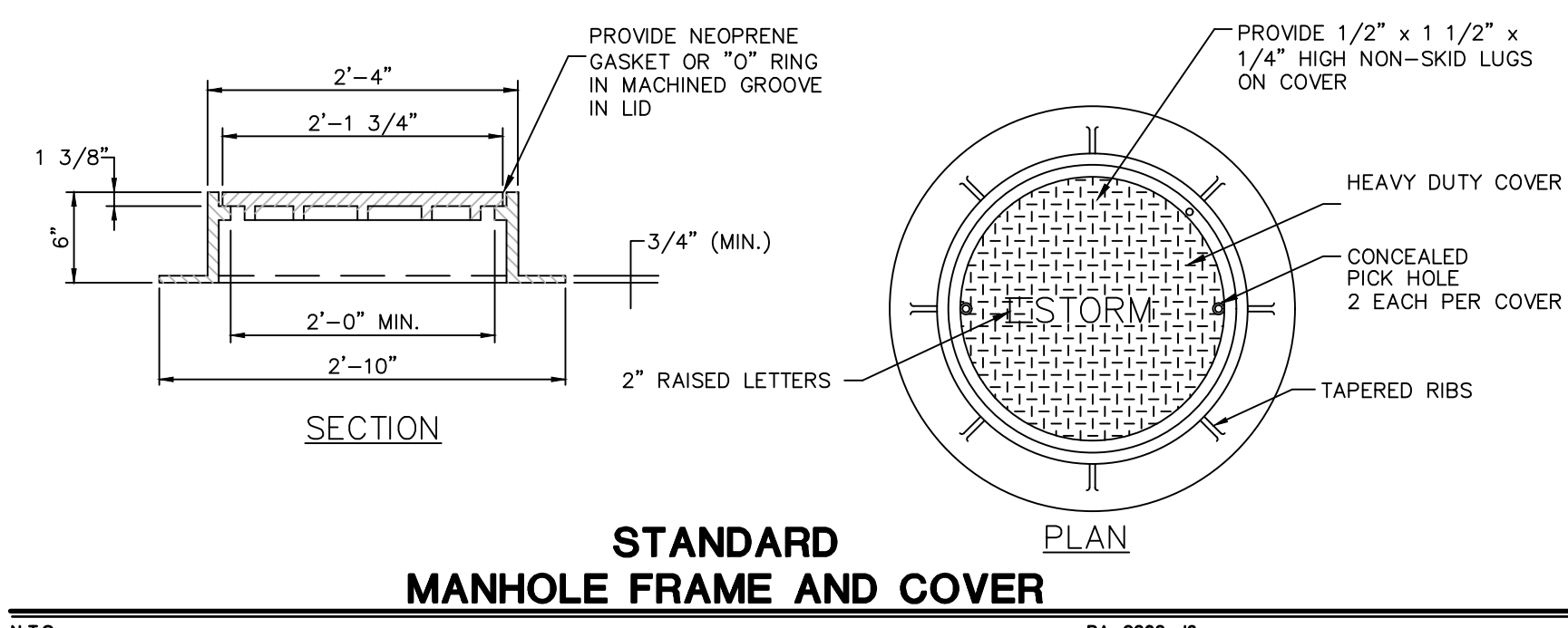
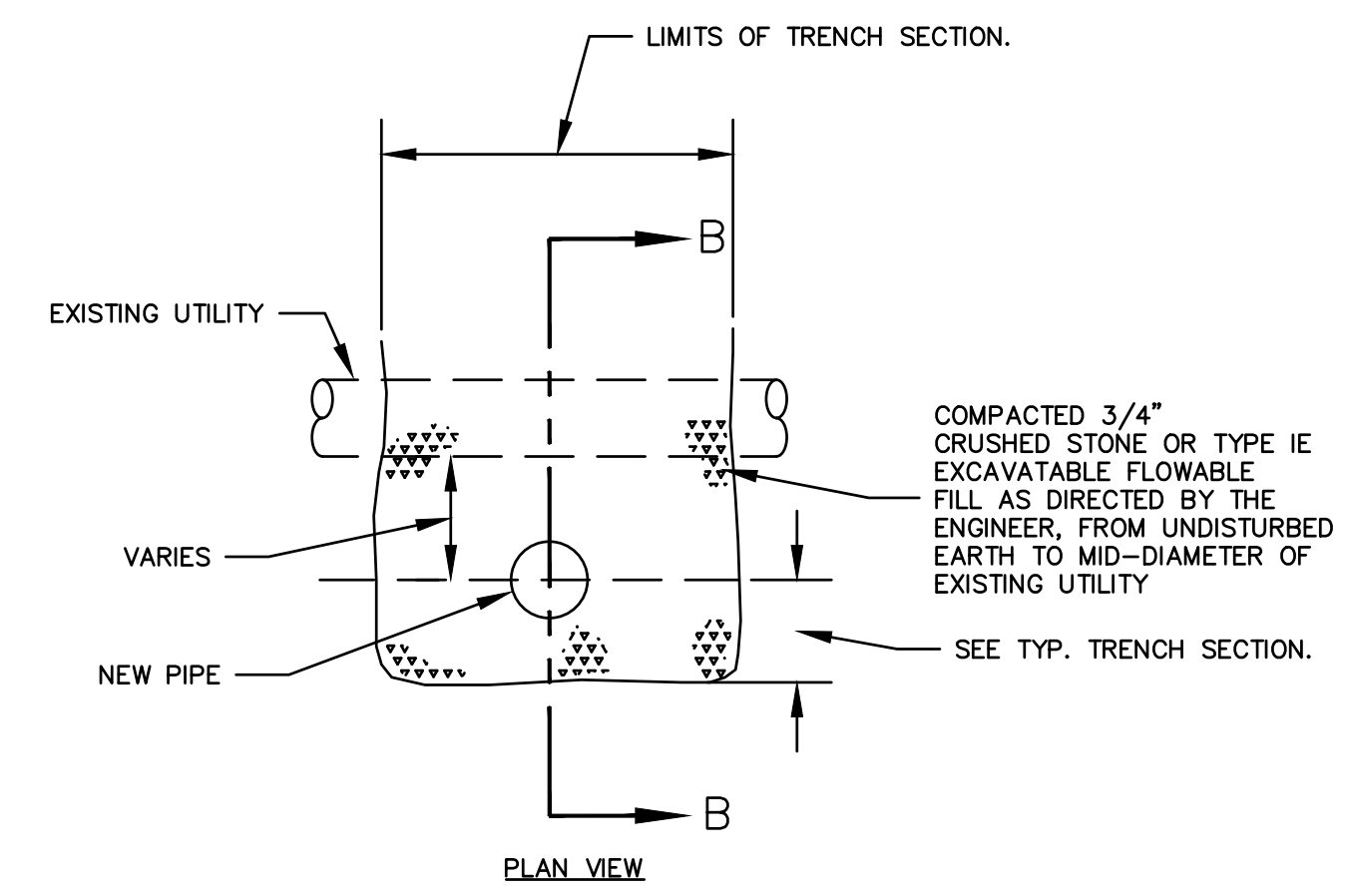
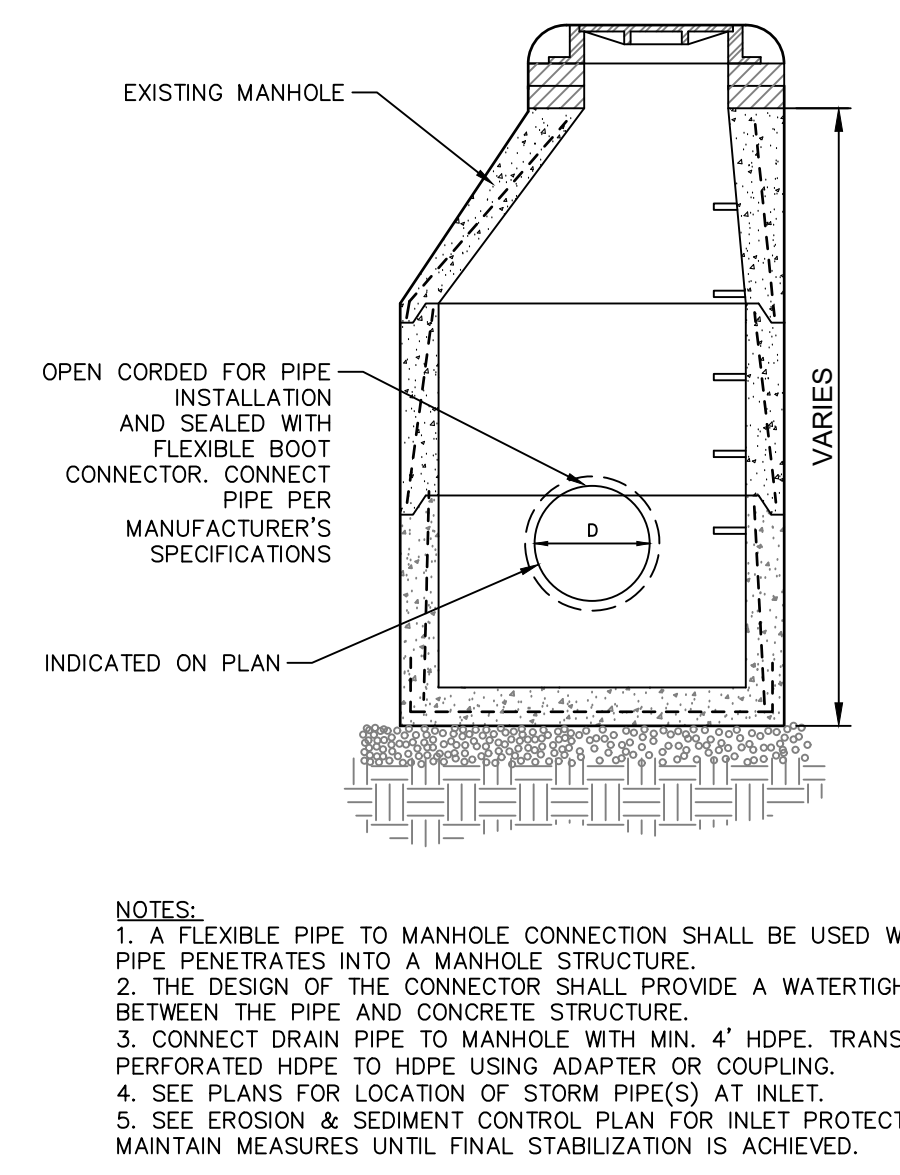
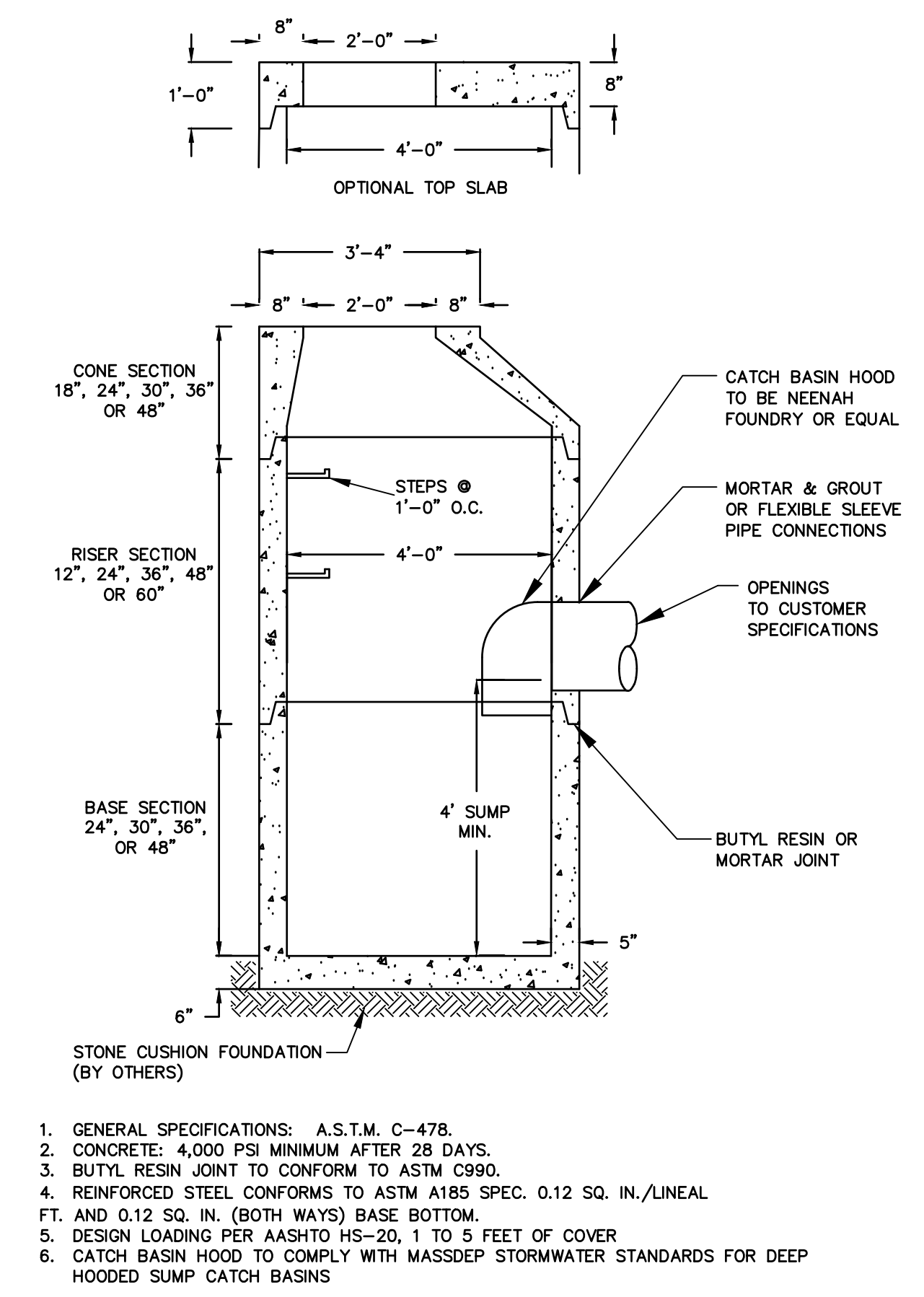
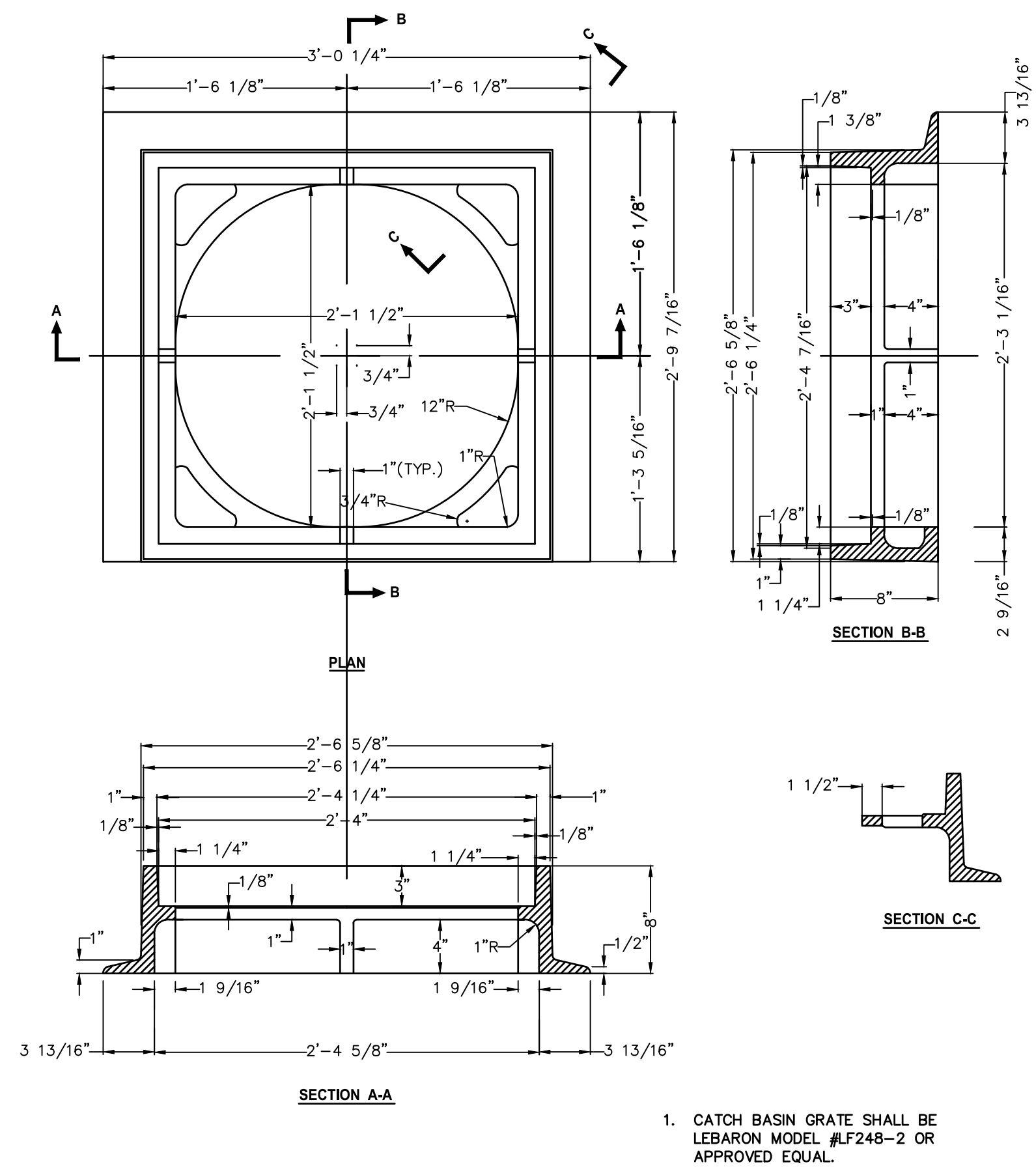
REVISIONS	
No.	Date

Designed	K.A.
Drawn	K.A.
Reviewed	M.M.
Scale	
Project No.	2001478
Date	May, 2021
CAD File:	DN200147801

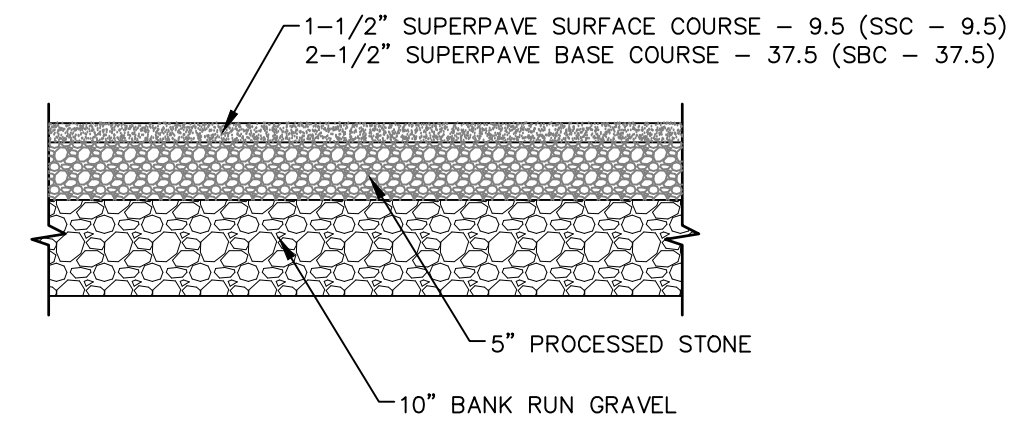
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SITE PREPARATION & DEMOLITION DETAILS

Sheet No.

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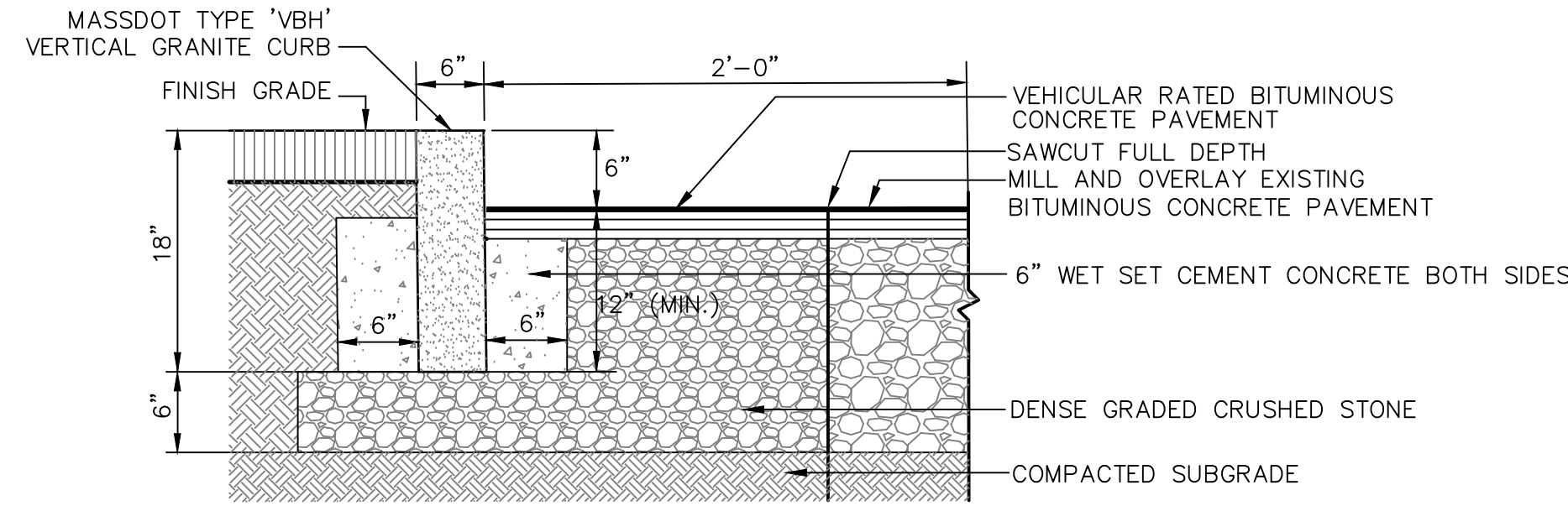


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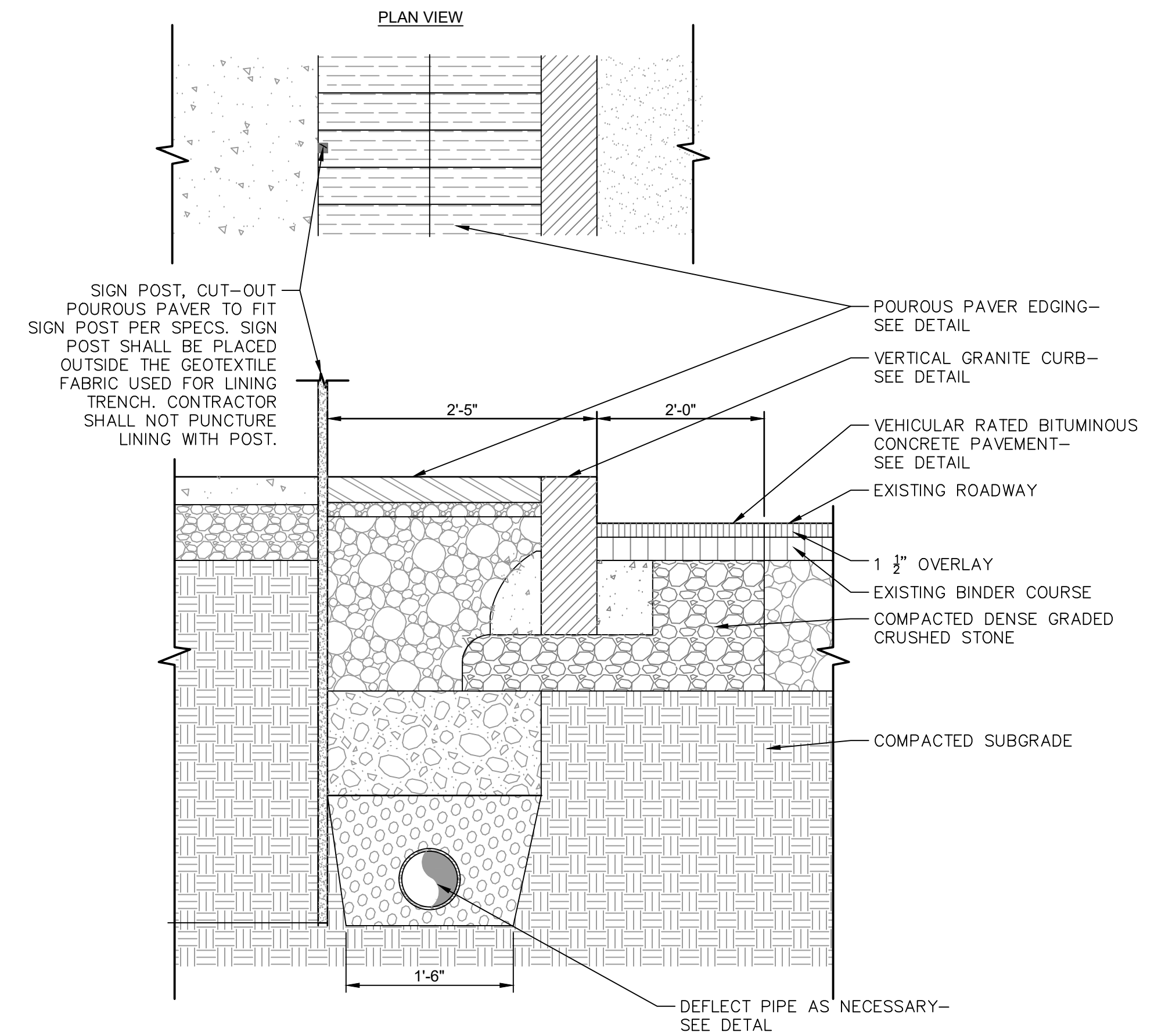
VEHICULAR RATED BITUMINOUS CONCRETE PAVEMENT

N.T.S.



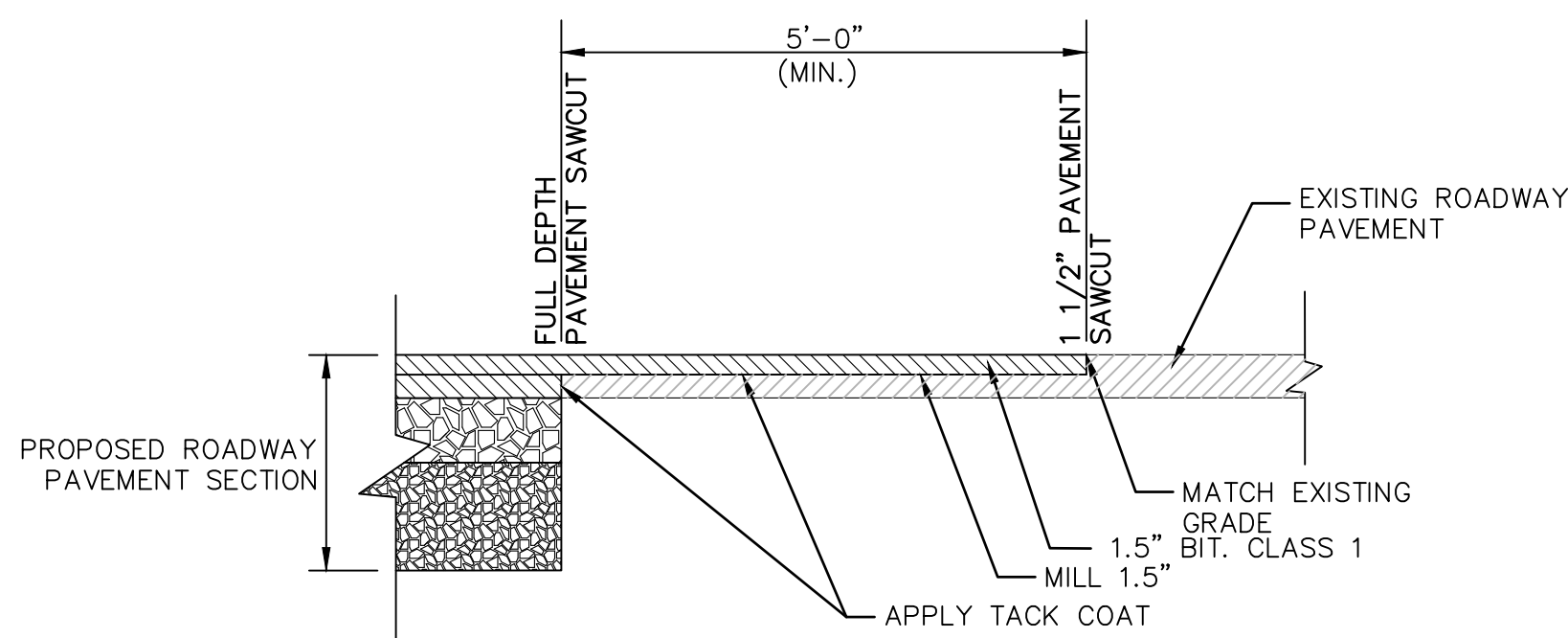
VERTICAL GRANITE CURB

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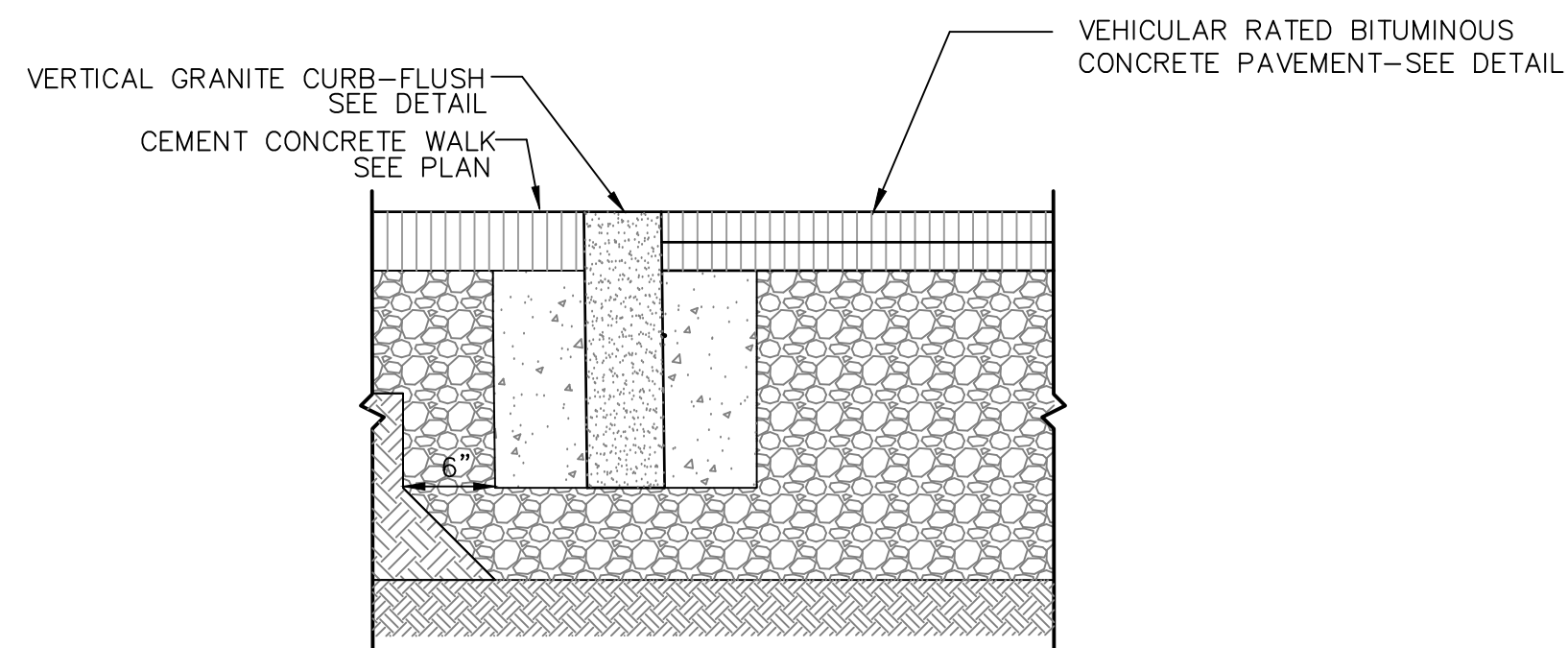
RELOCATED/RESET TRAFFIC SIGN

N.T.S.



PAVEMENT MATCHING DETAIL

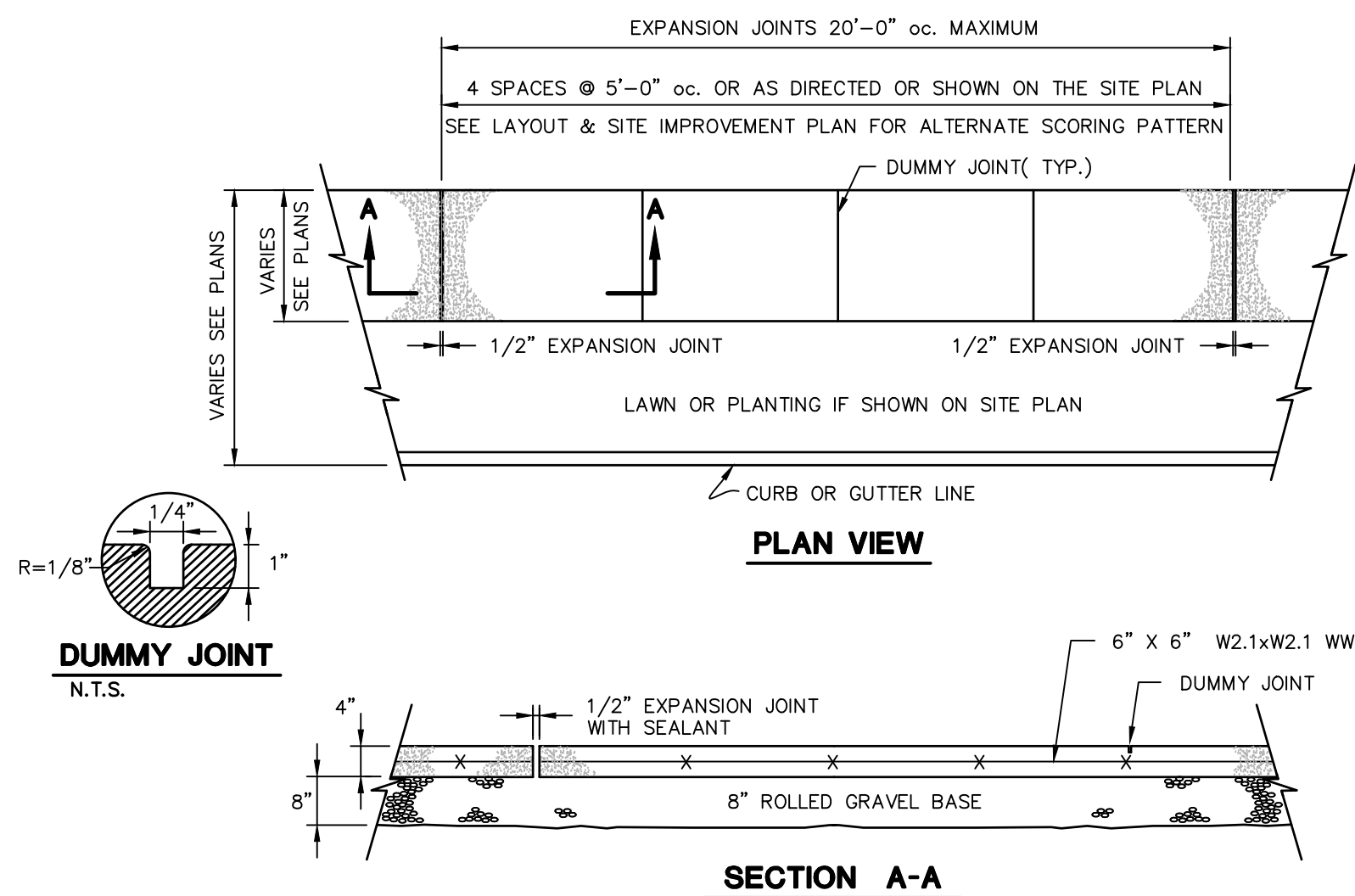
N.T.S.



- NOTES:
 1. CEMENT CONCRETE SHALL EXTEND TO THE BOTTOM OF THE BITUMINOUS CONCRETE.
 2. ANY CLASS OF CEMENT CONCRETE ACCEPTABLE UNDER SECTION M4 OF THE MASS. *SSH8 MAY BE USED.

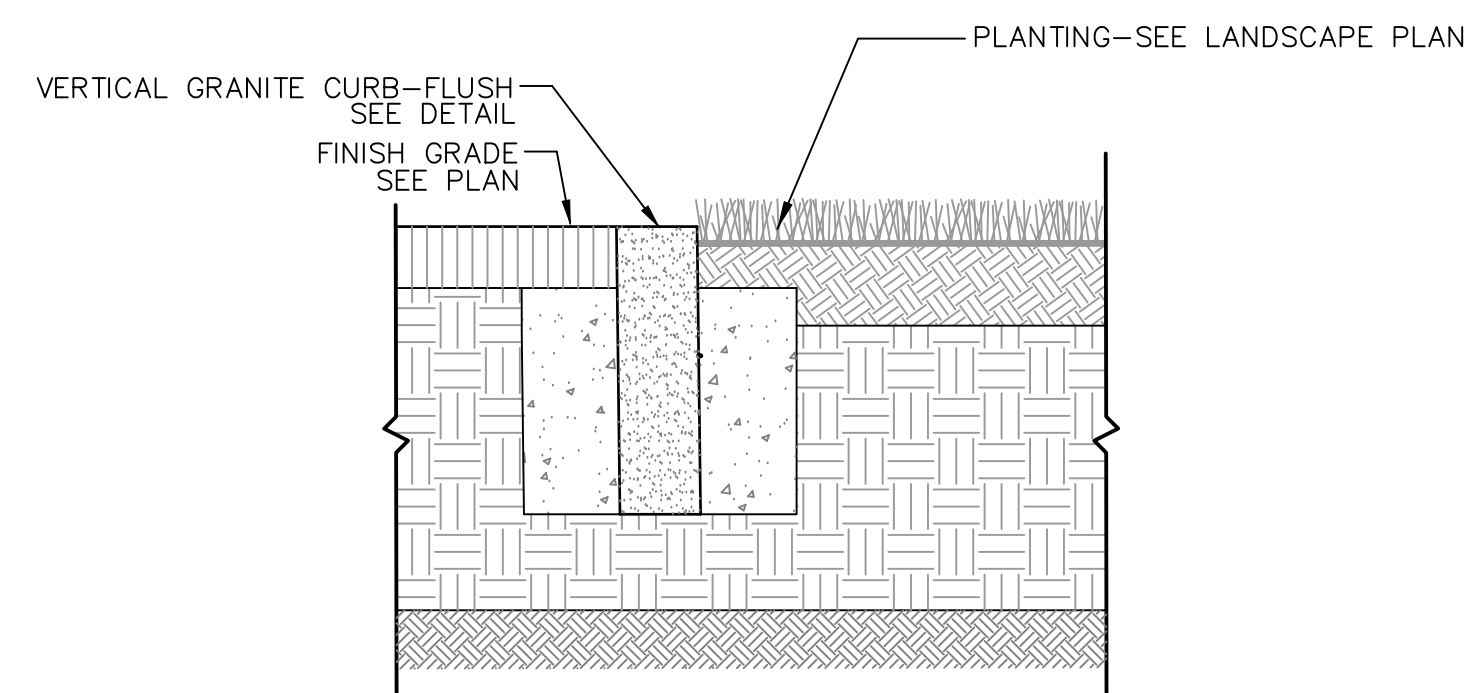
VERTICAL GRANITE CURB-FLUSH

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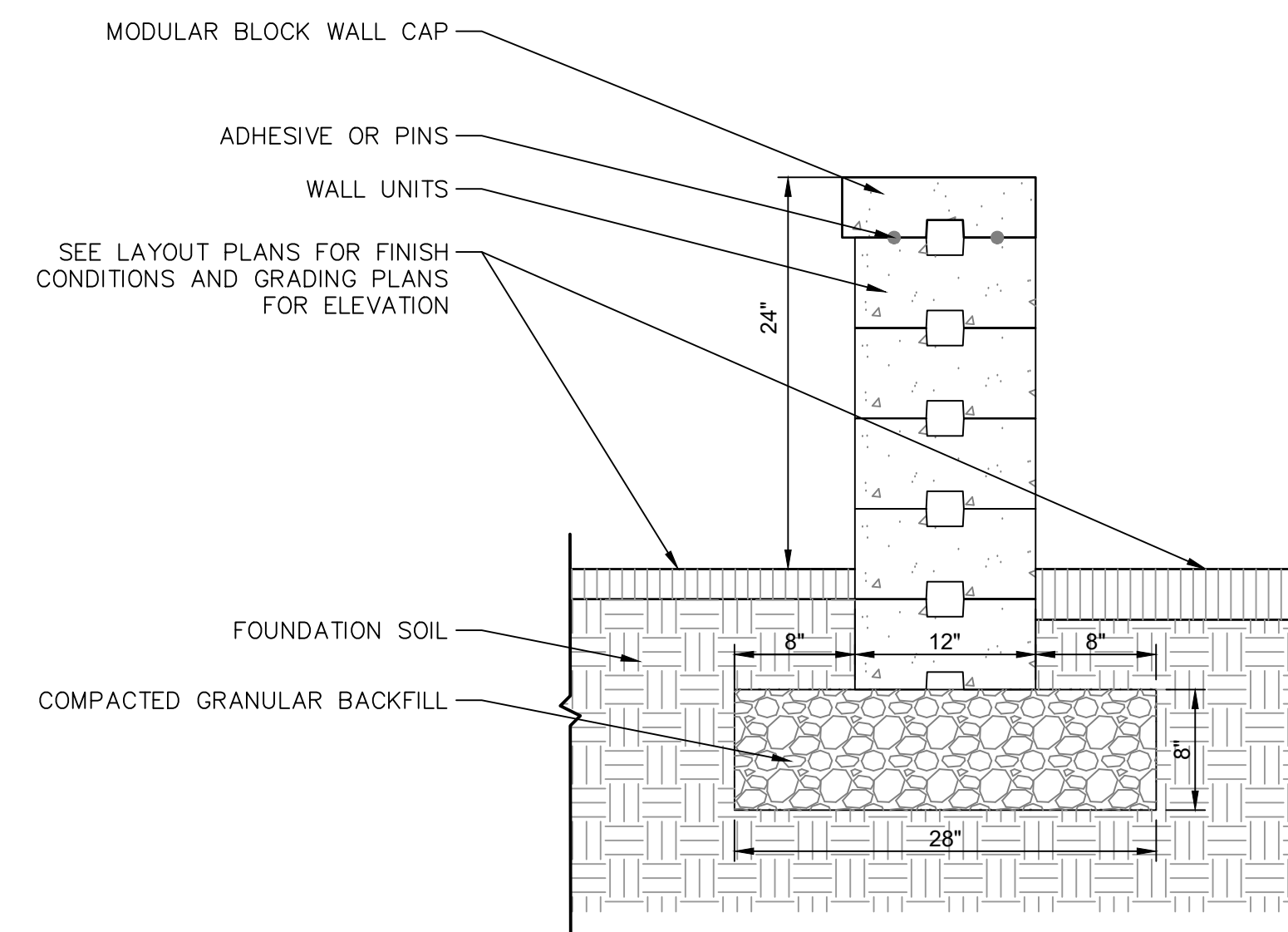
CONCRETE SIDEWALK

N.T.S.



VERTICAL GRANITE CURB-FLUSH AT PLANTING

N.T.S.



MODULAR CONCRETE BLOCK SEAT WALL

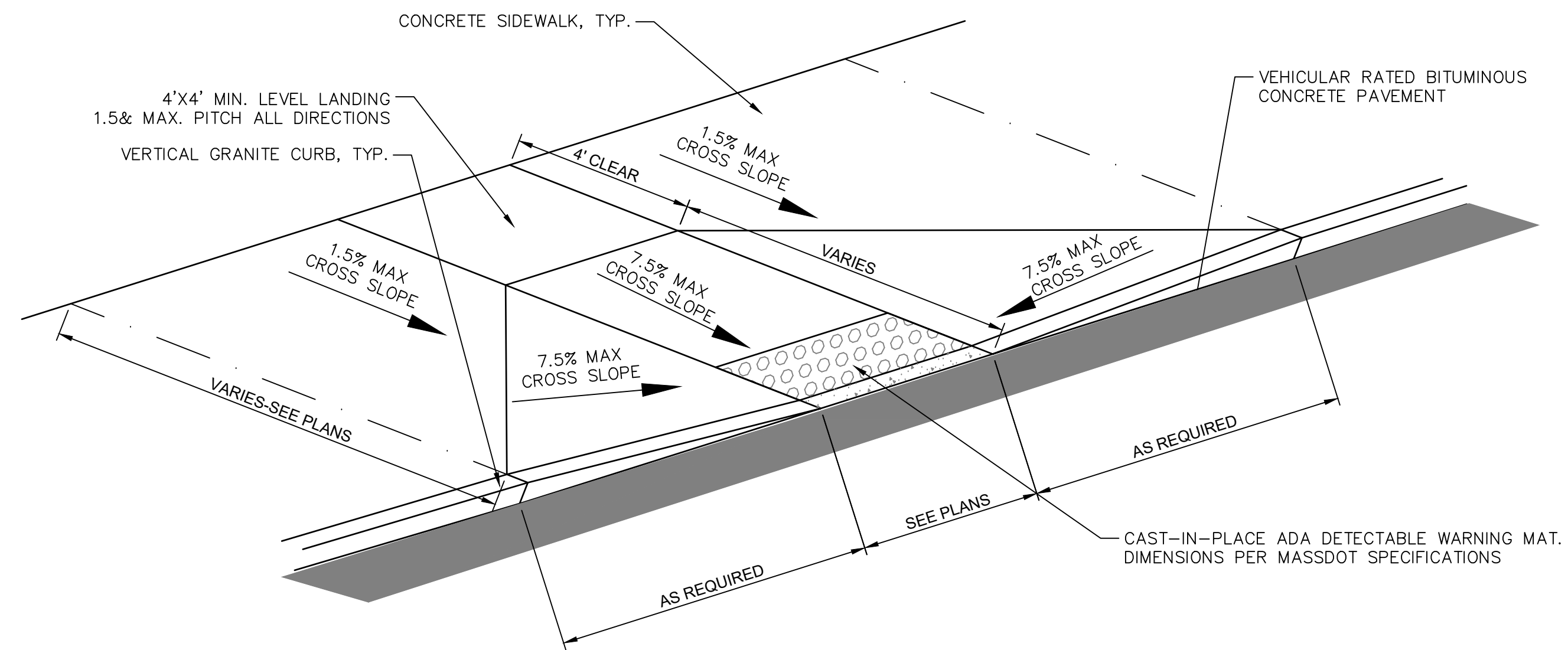
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Reviewed	M.M.
Scale	
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SITE DETAILS

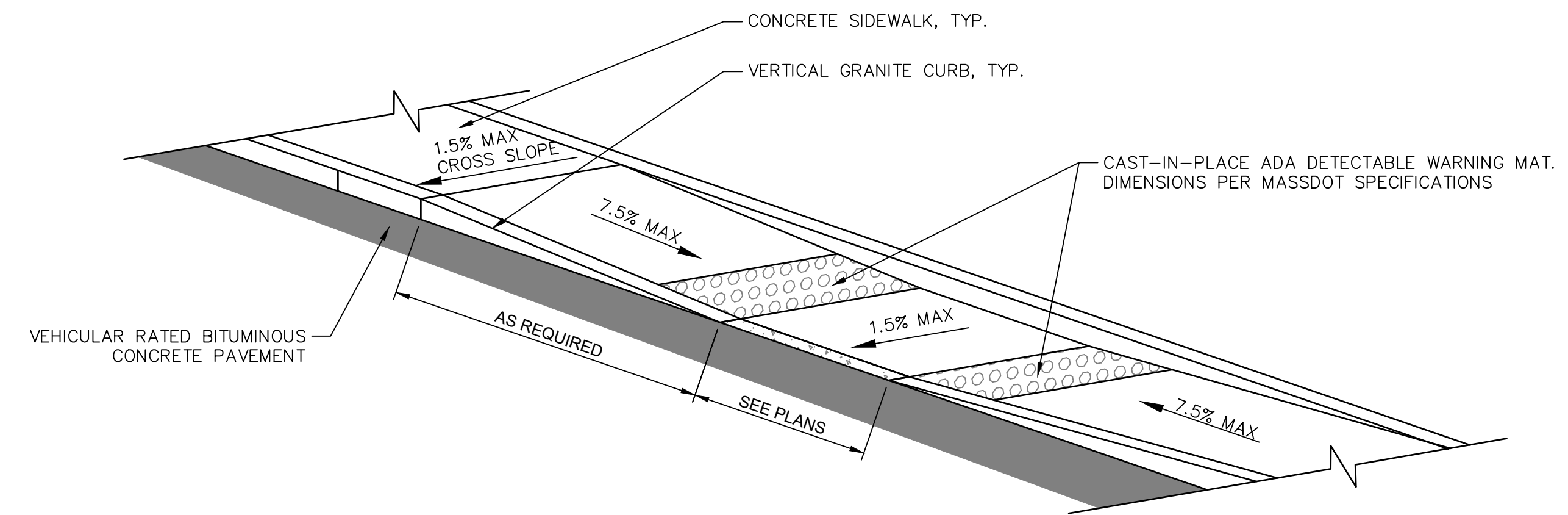
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- NOTES:**
1. CONTRACTOR SHALL PROVIDE CLEAN AND STRAIGHT SAWCUT LINES AT LIMIT OF REMOVAL OF EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR SHALL VERIFY LIMITS OF EXISTING ASPHALT PAVEMENT REMOVAL PRIOR TO COMMENCING DEMOLITION.
 2. CONTRACTOR SHALL REMOVE AND REPLACE ASPHALT PAVEMENT, GRAVEL BORROW, AND SUBGRADE NECESSARY TO CONSTRUCT A CLEAN, SMOOTH TRANSITION AT ADA CURB CUT.
 3. INSTALL DETECTABLE WARNING PANEL ACCORDING TO MASSDOT DWG M/E 107.6.5R

ADA CURB RAMP TYPE A

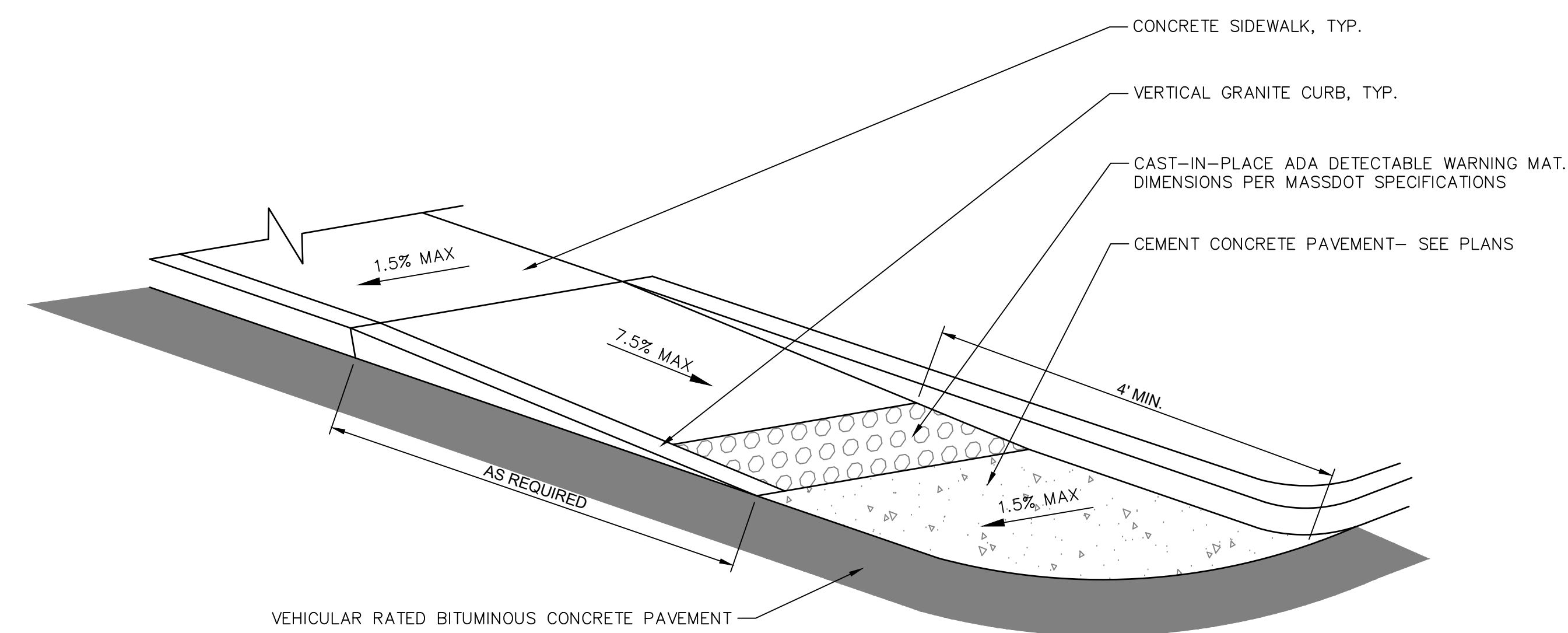
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ADA CURB RAMP TYPE B

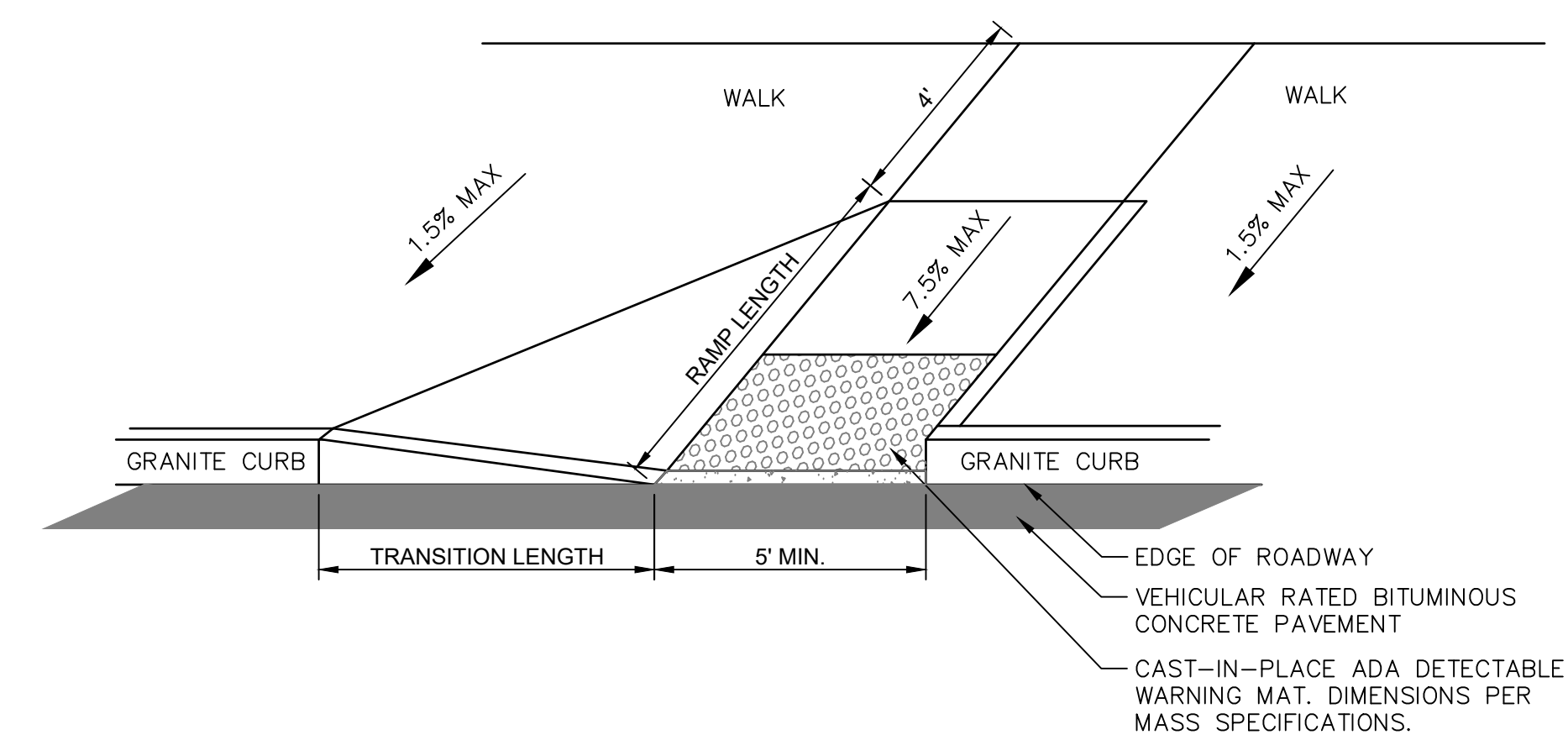
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- NOTES:**
1. CONTRACTOR SHALL PROVIDE CLEAN AND STRAIGHT SAWCUT LINES AT LIMIT OF REMOVAL OF EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR SHALL VERIFY LIMITS OF EXISTING ASPHALT PAVEMENT REMOVAL PRIOR TO COMMENCING DEMOLITION.
 2. CONTRACTOR SHALL REMOVE AND REPLACE ASPHALT PAVEMENT, GRAVEL BORROW, AND SUBGRADE NECESSARY TO CONSTRUCT A CLEAN, SMOOTH TRANSITION AT ADA CURB CUT.
 3. INSTALL DETECTABLE WARNING PANEL ACCORDING TO MASSDOT DWG M/E 107.6.5R

ADA CURB RAMP TYPE C

N.T.S.



- NOTES:**
1. INSTALL DETECTABLE WARNING PANEL ACCORDING TO MASSDOT DWG M/E 107.6.5R
 2. EXISTING GRANITE DRIVEWAY GRANITE CURB TRANSITION STONES SHALL BE REMOVED AND RESET OR REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER.
 3. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF RAMP WITHIN TOLERANCES GIVEN UNLESS OTHERWISE NOTED. FAILURE TO MEET TOLERANCES, OR PRIOR NOTICE TO ENGINEER THAT TOLERANCES CANNOT BE MET, WILL REQUIRE RECONSTRUCTION TO PROPER TOLERANCES AT NO EXPENSE TO THE OWNER.
 4. SLOPE TOLERANCE FOR CONSTRUCTION 0.5% ±

ADA CURB RAMP TYPE D

N.T.S.

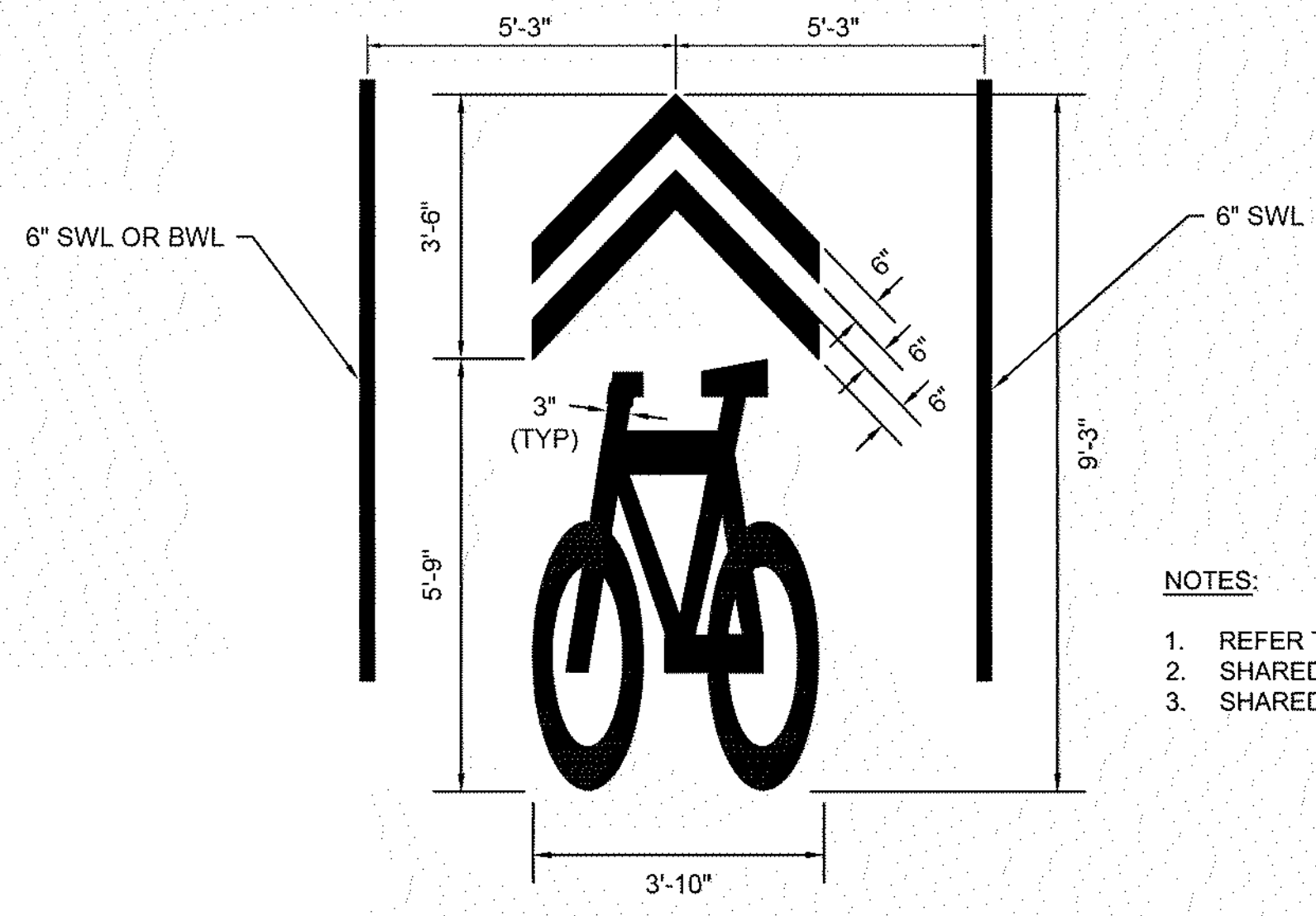
REVISIONS	
No.	Date

Designed	K.A.
Drawn	K.A.
Reviewed	M.M.
Scale	
Project No.	2001478
Date	May, 2021
CAD File:	DN200147801

SITE DETAILS

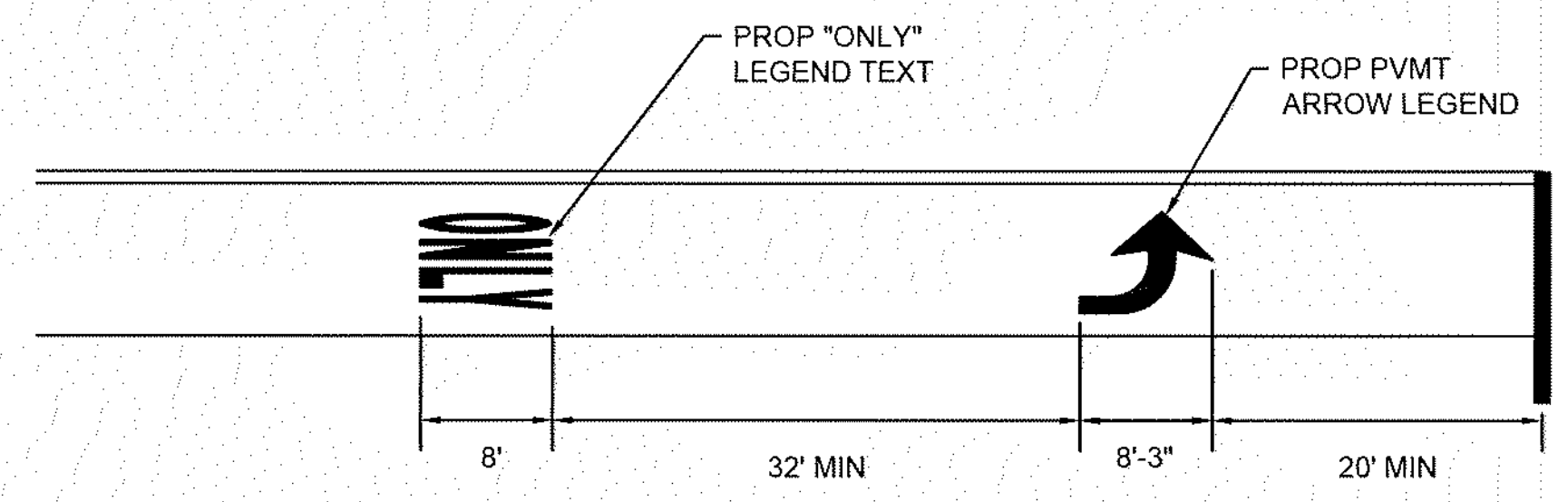
Sheet No.

DN-06

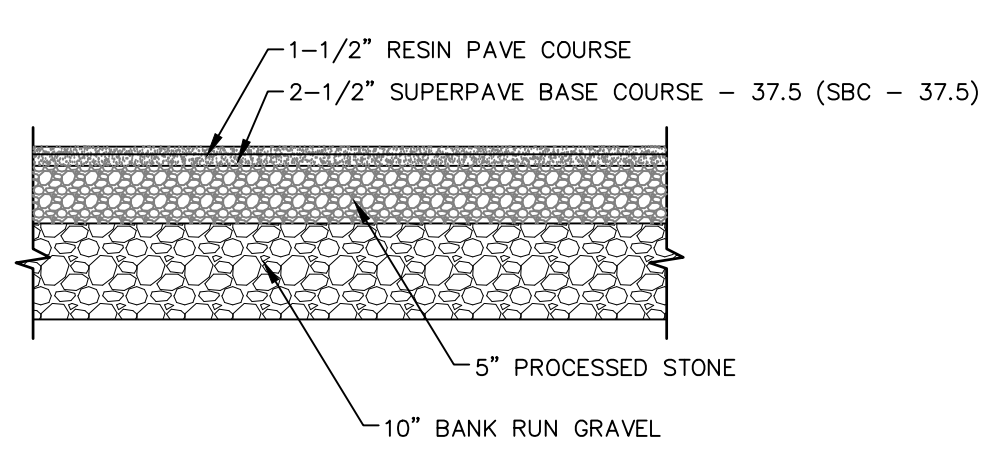
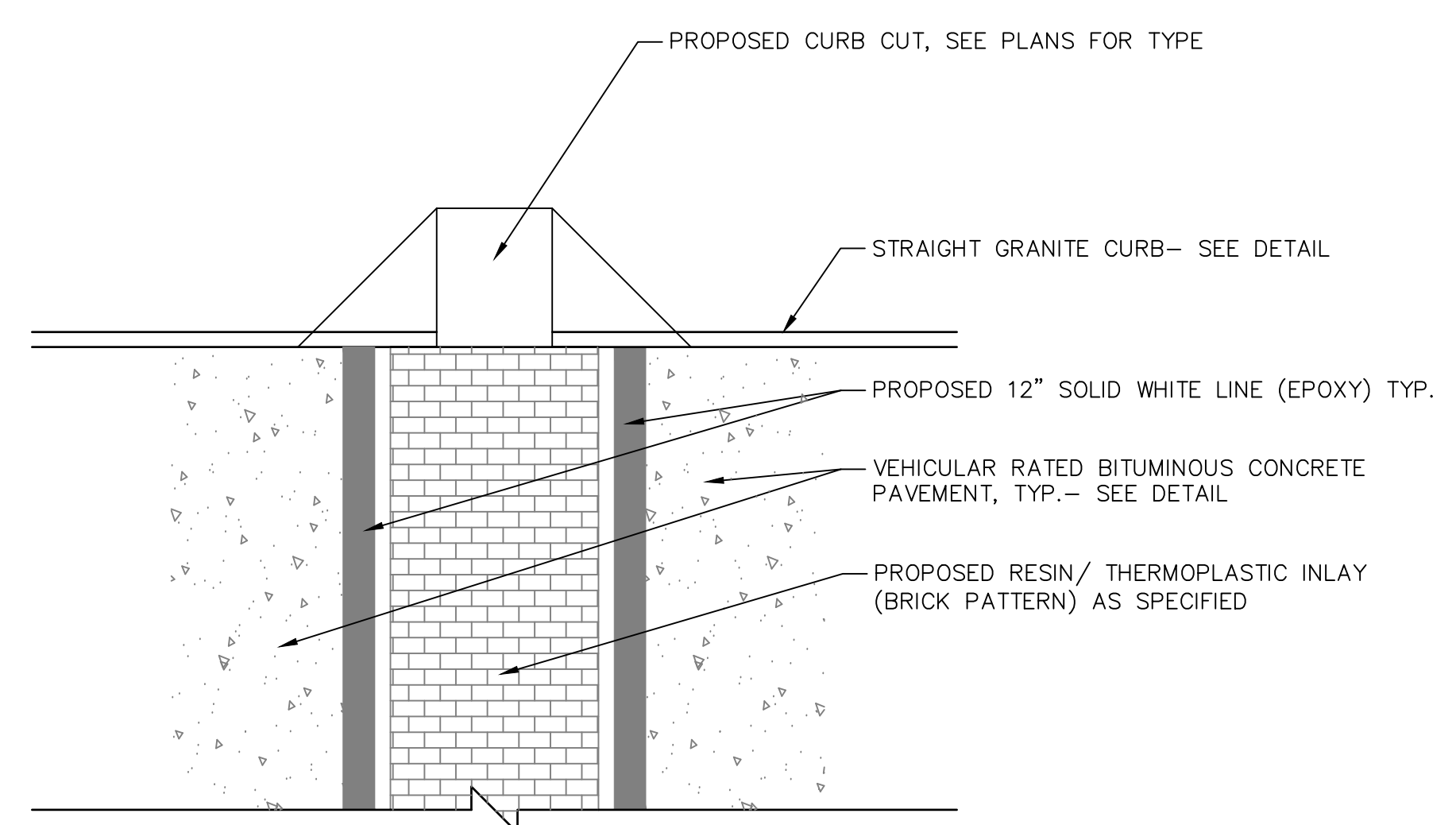


- NOTES:**
1. REFER TO FIGURE 9C-9 IN THE MUTCD FOR MORE DETAIL.
 2. SHARED LANE MARKINGS SHALL BE EPOXY PAINT.
 3. SHARED LANE MARKINGS SHALL BE ONE PIECE.

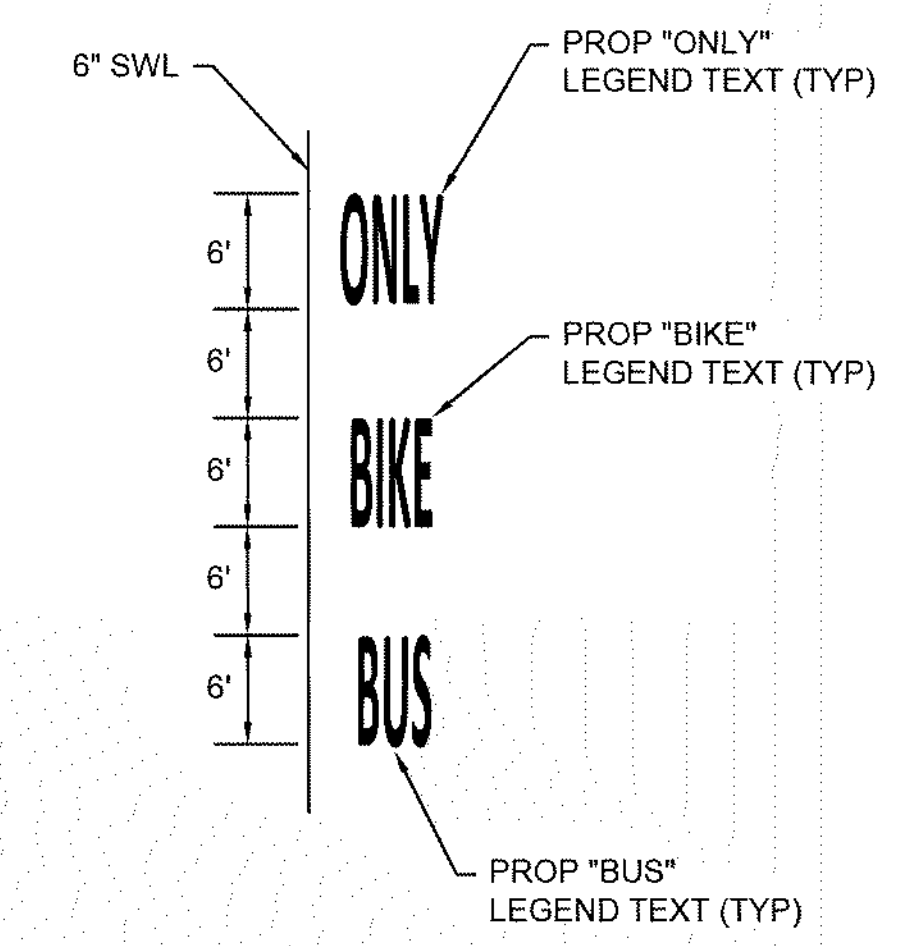
SHARED LANE PAVEMENT LEGEND DETAIL
NOT TO SCALE



PAVEMENT ARROW AND LEGEND DETAIL
NOT TO SCALE



RESIN CROSS WALK
N.T.S.



- NOTES:**
1. BUS/BIKE/ONLY PAVEMENT MARKINGS SHOULD BE CENTERED IN THE LANE UNLESS OTHERWISE NOTED.

BUS BIKE ONLY PAVEMENT MARKING AND LEGEND DETAIL
NOT TO SCALE

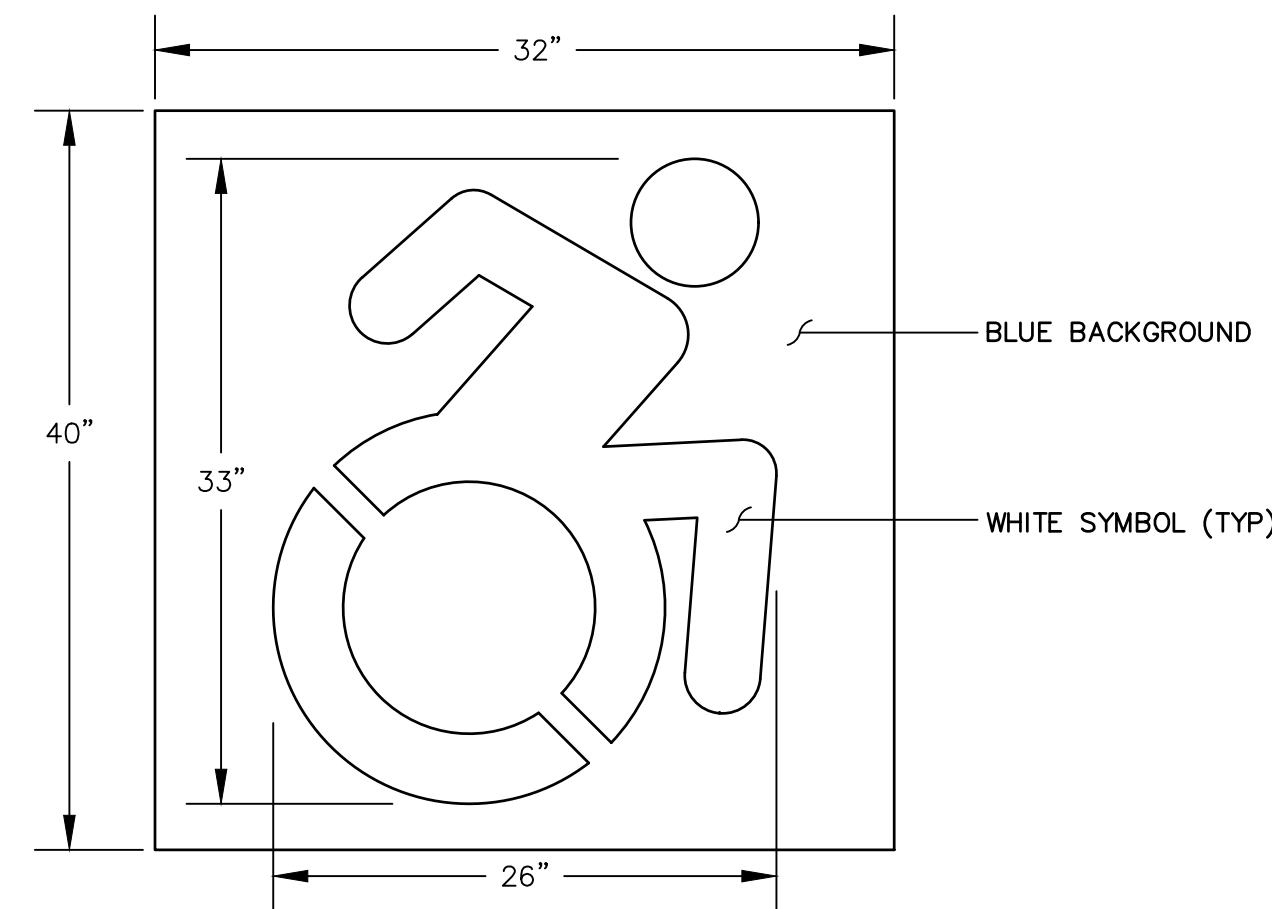
REVISIONS	Desc.
No.	Date

Designed	K.A.
Drawn	K.A.
Reviewed	M.M.
Scale	
Project No.	2001478
Date	May, 2021
CAD File:	DN200147801

Title
SITE DETAILS

Sheet No.

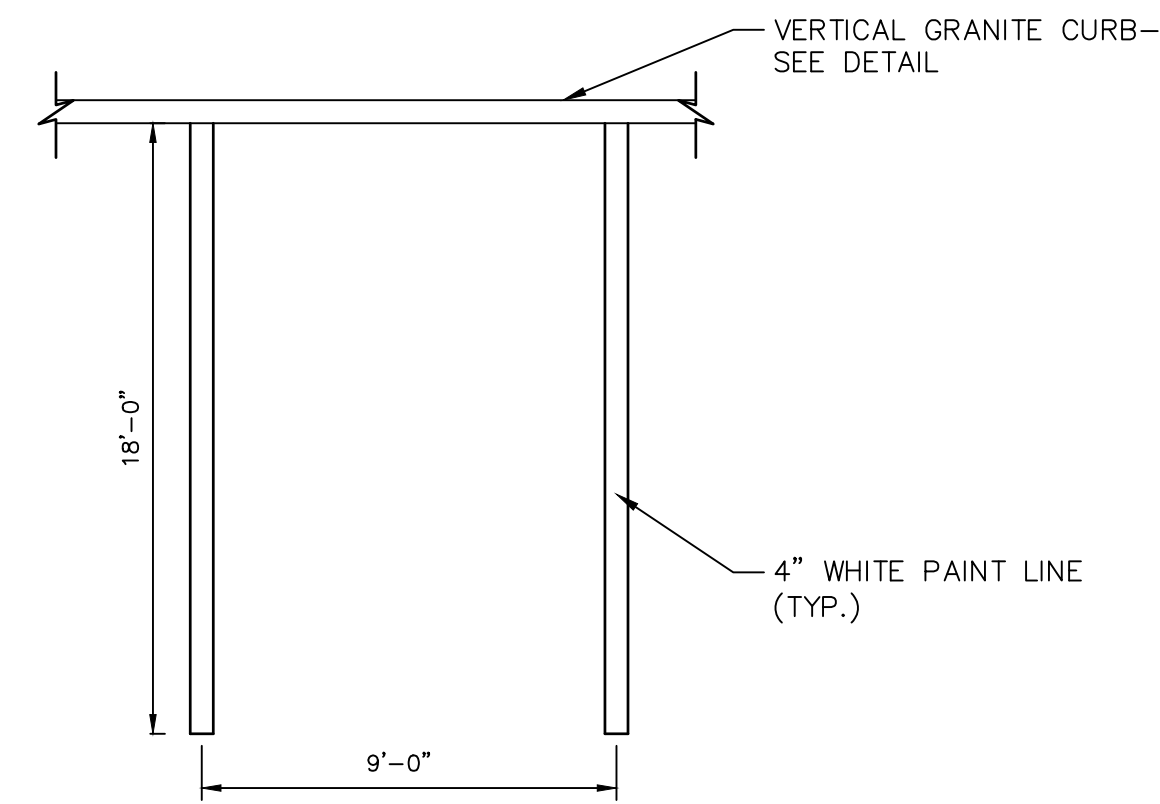
DN-08



NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION

INTERNATIONAL HANDICAP SYMBOL

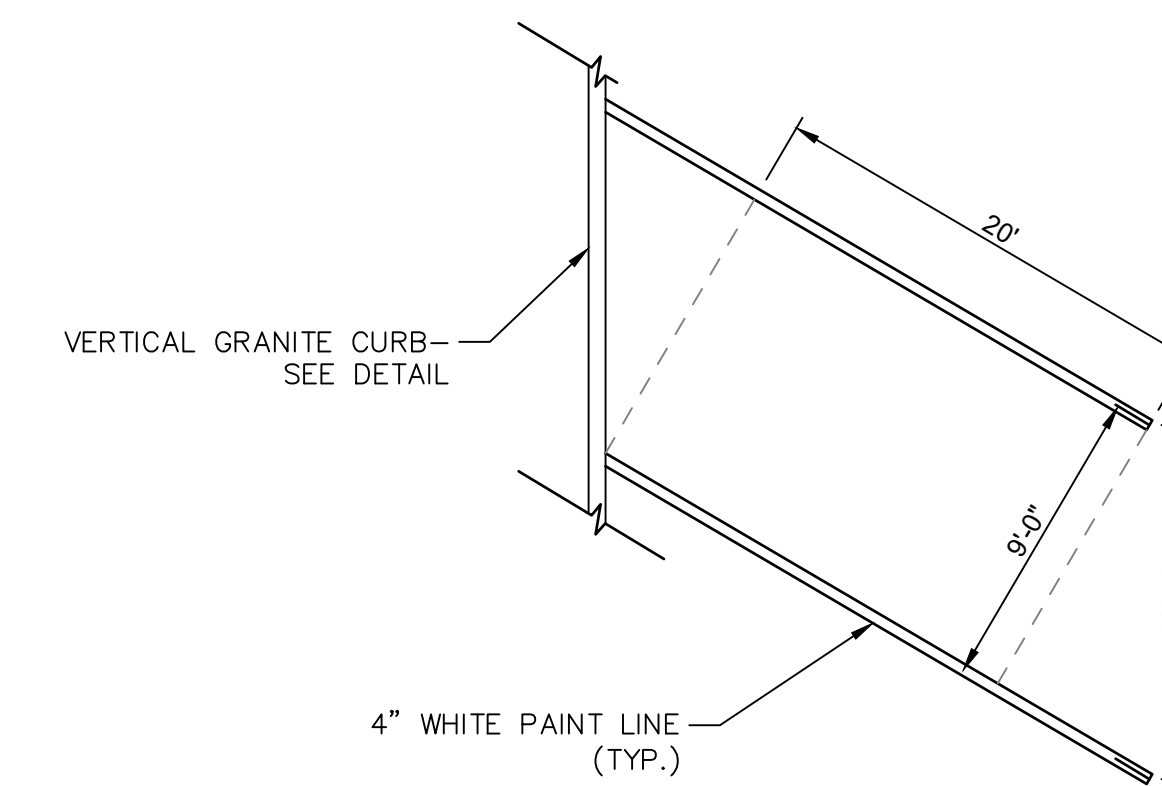
N.T.S.



NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

TYPICAL PARKING SPACE DETAIL

N.T.S.



NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

60 DEGREE ANGLED PARKING

N.T.S.



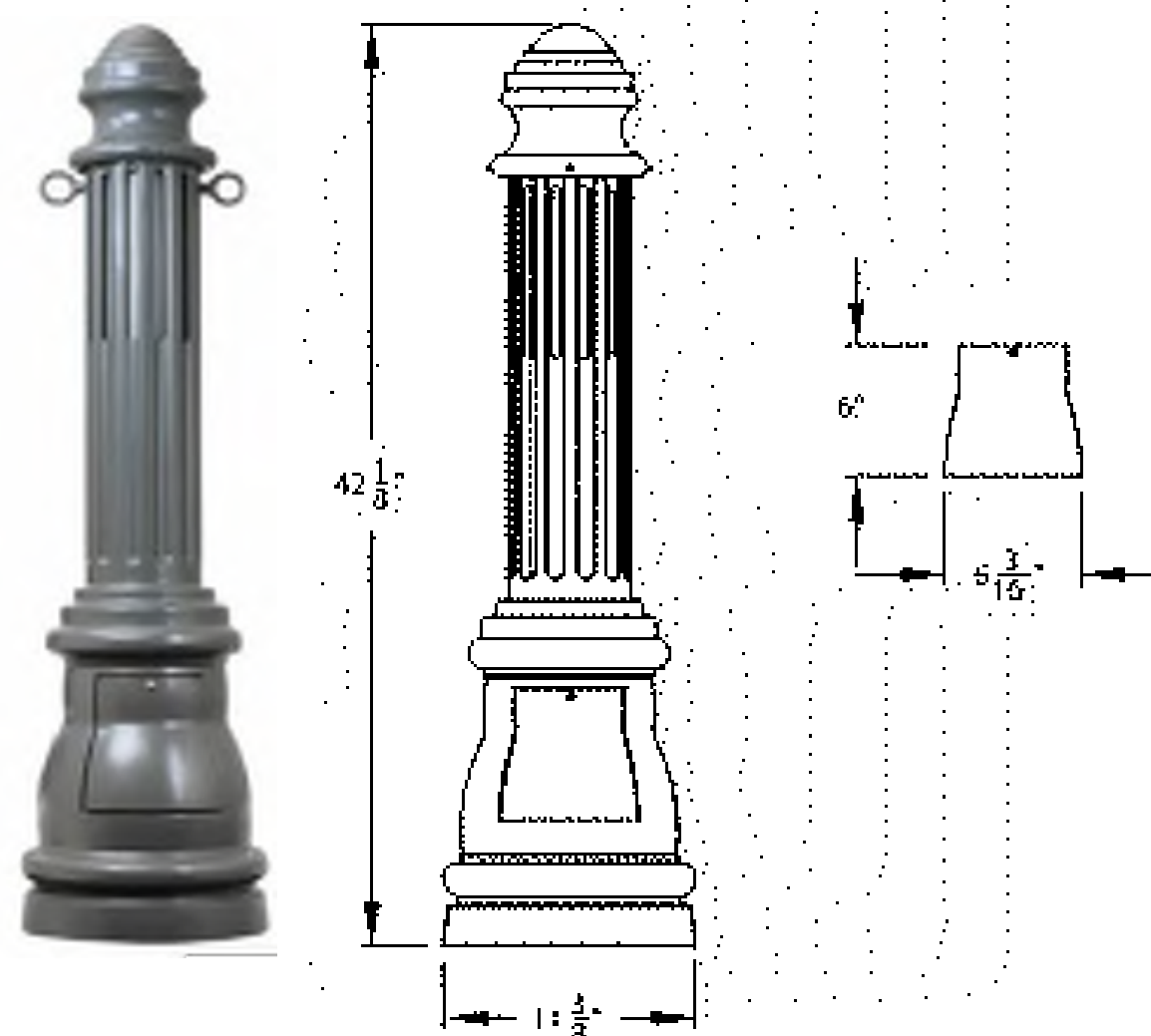
BENCH

N.T.S.
NOTE:
1. REFER TO SPECIFICATIONS FOR PRODUCT INFORMATION.
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



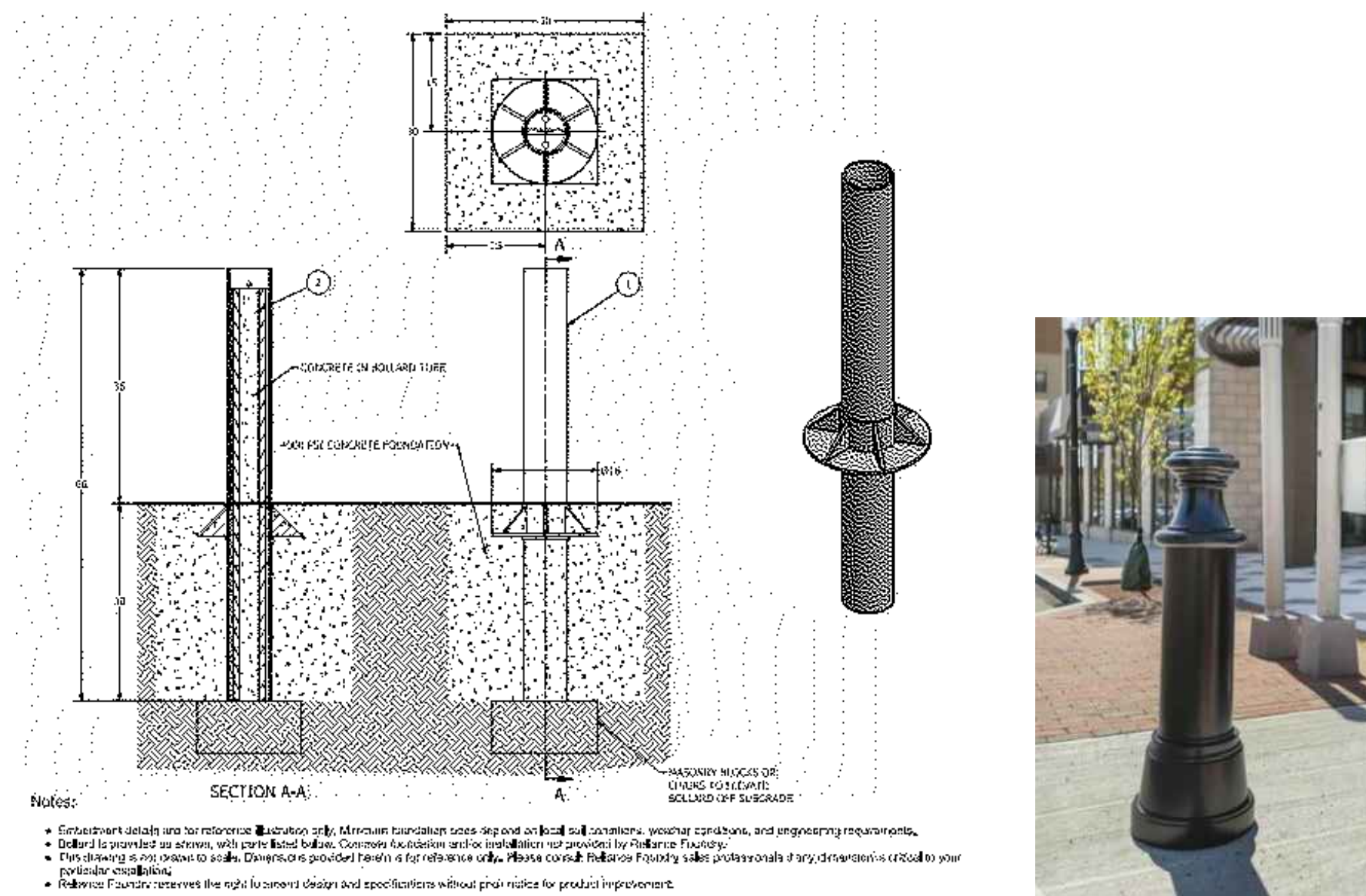
BIKE RACK

N.T.S.
NOTE:
1. REFER TO SPECIFICATIONS FOR PRODUCT INFORMATION.
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



LIGHTED BOLLARD

N.T.S.
MANUFACTURER: HALOPHANE (OR APPROVED EQUAL)
ADDRESS: 3825 COLUMBUS RD., GRANVILLE, OH 43023
PHONE: 866-HOLOPHANE
WEBSITE: WWW.HOLOPHANE.COM
PRODUCT: CHARLESTON LED SERIES ALUMINUM BOLLARD
COLOR: BLACK

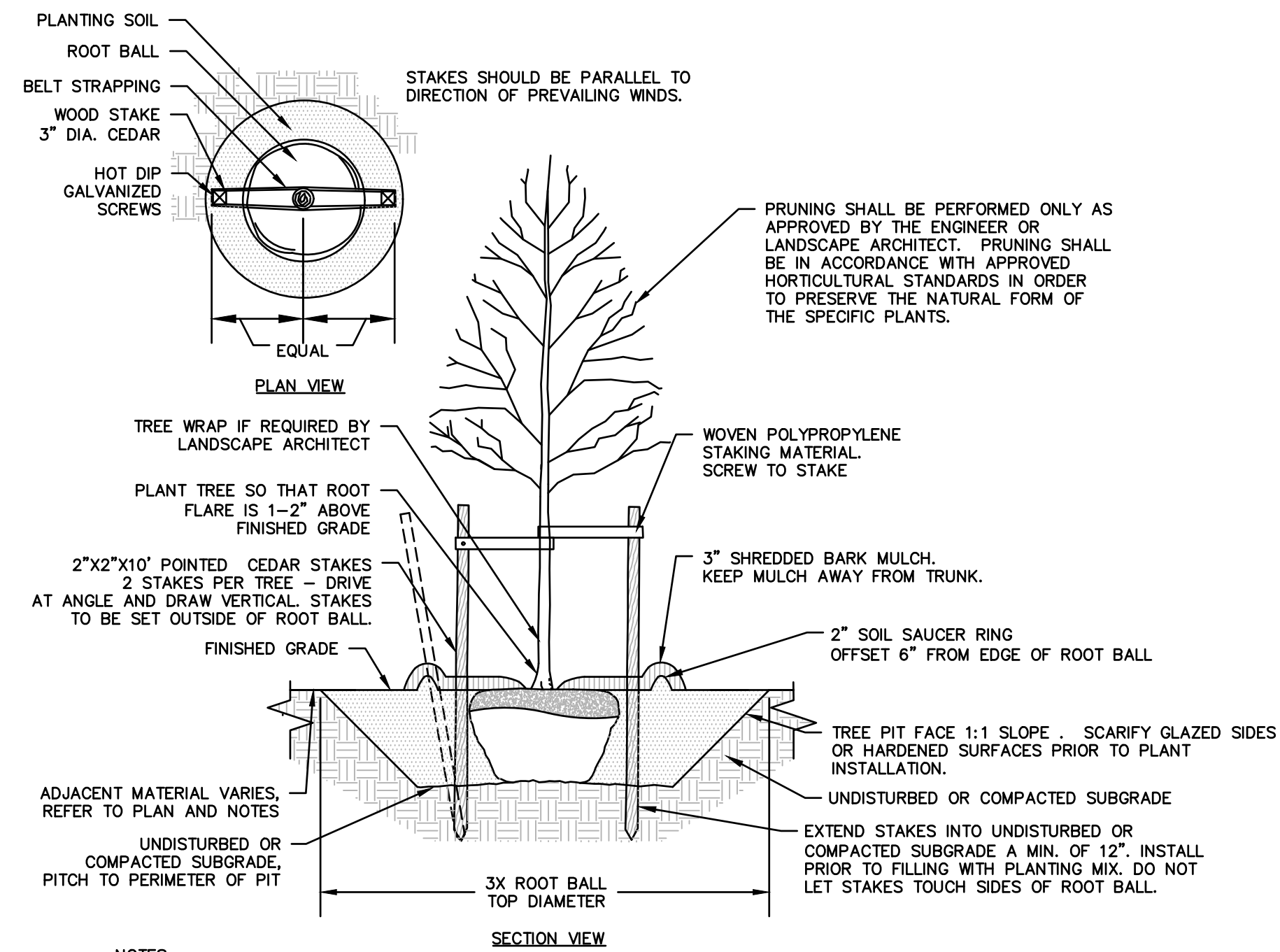


VEHICULAR RATED BOLLARD

N.T.S.
NOTE:
1. REFER TO SPECIFICATIONS FOR PRODUCT INFORMATION.
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

REVISIONS	
No.	Date

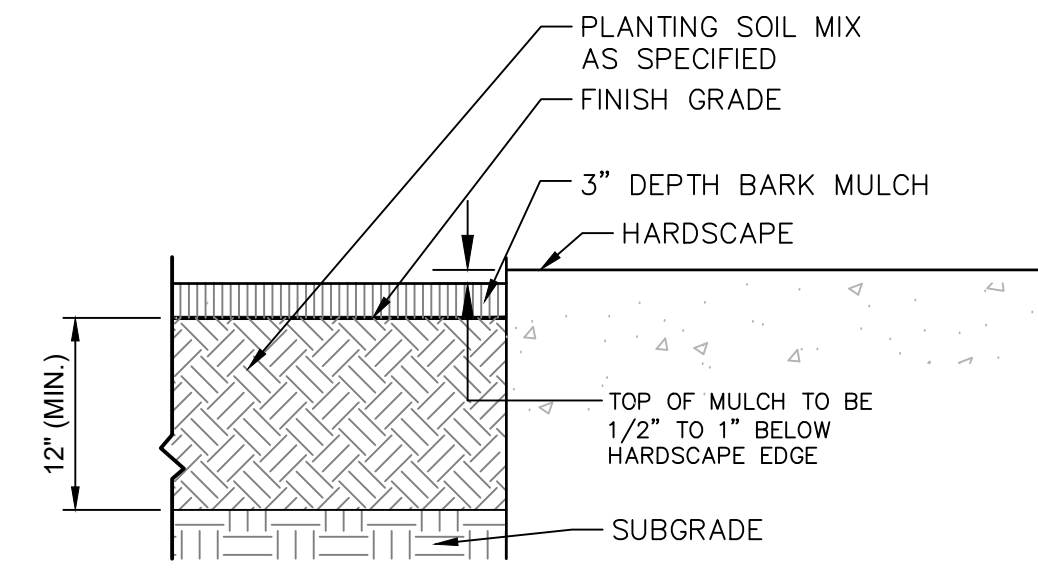
Designed	K.A.
Drawn	K.A.
Reviewed	M.M.
Scale	
Project No.	2001478
Date	May, 2021
CAD File:	DN200147801



- NOTES:**
1. STAKING FOR TREES ON 4:1 SLOPES OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
 2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORITE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
 3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

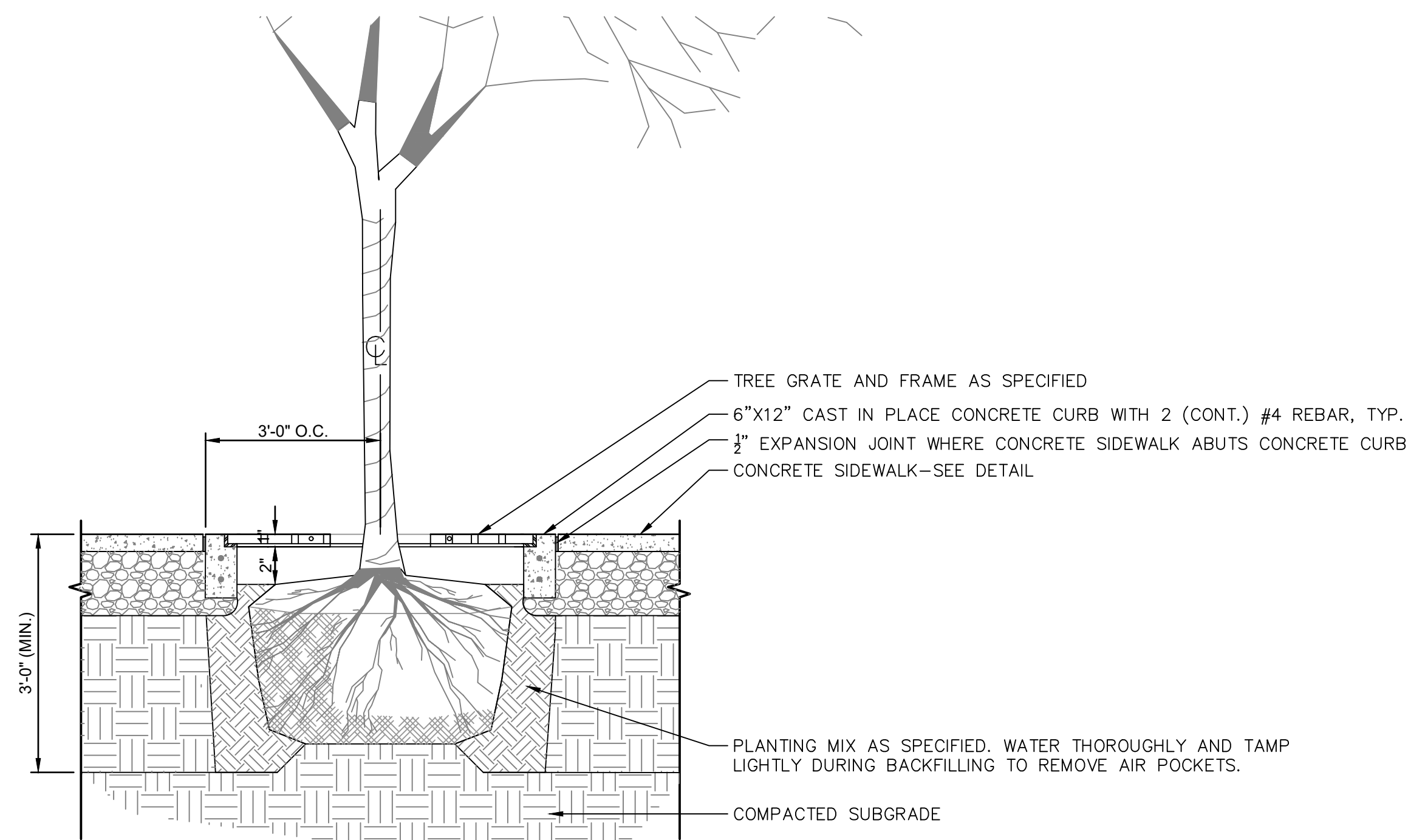
DECIDUOUS TREE PLANTING

N.T.S.



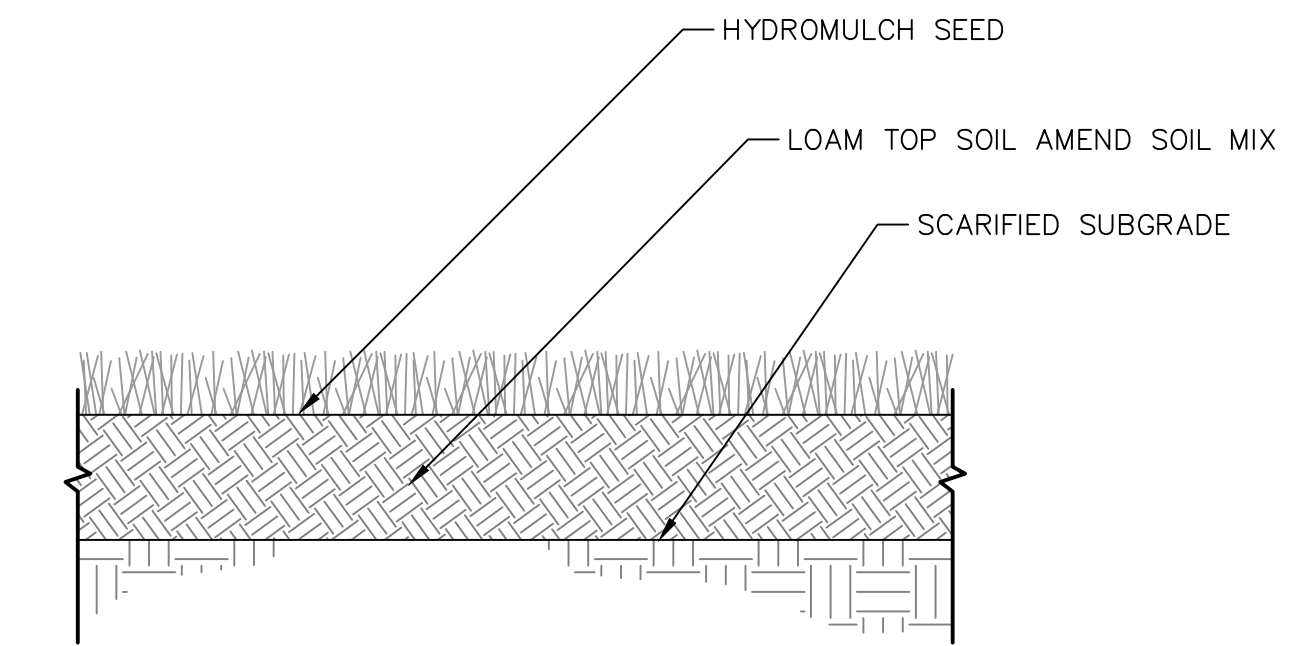
MULCH PLANT BED

N.T.S.



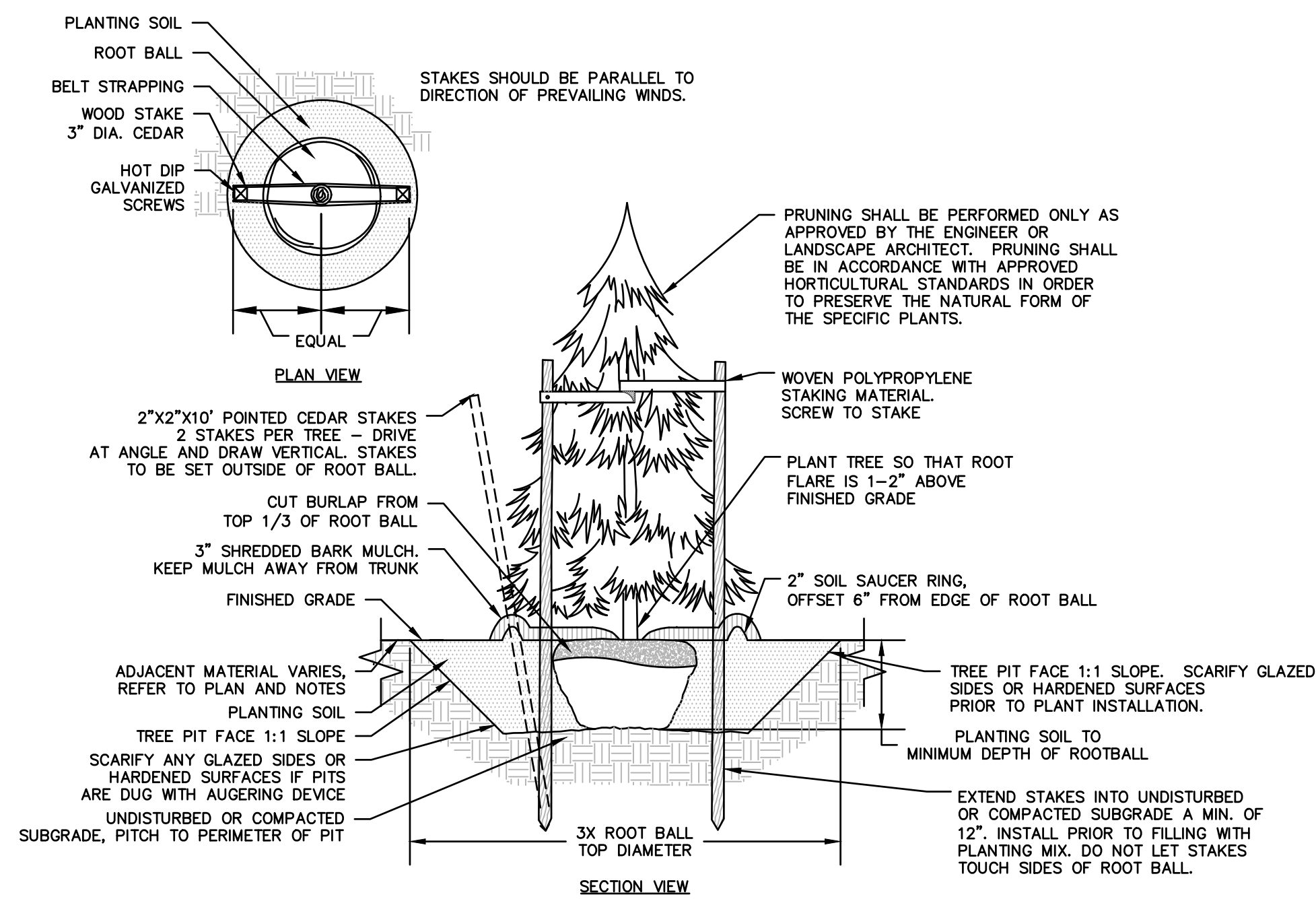
TREE GRATE

N.T.S.



LOAM AND SEED, TYP.

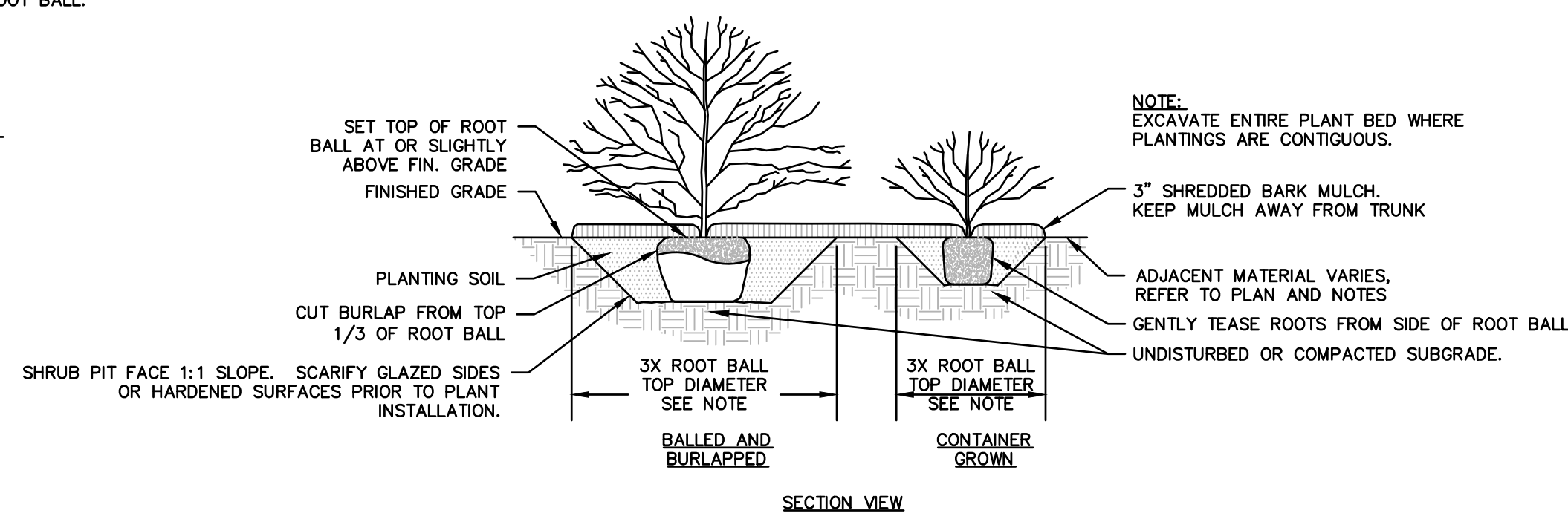
N.T.S.



- NOTES:**
1. STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
 2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORITE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
 3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

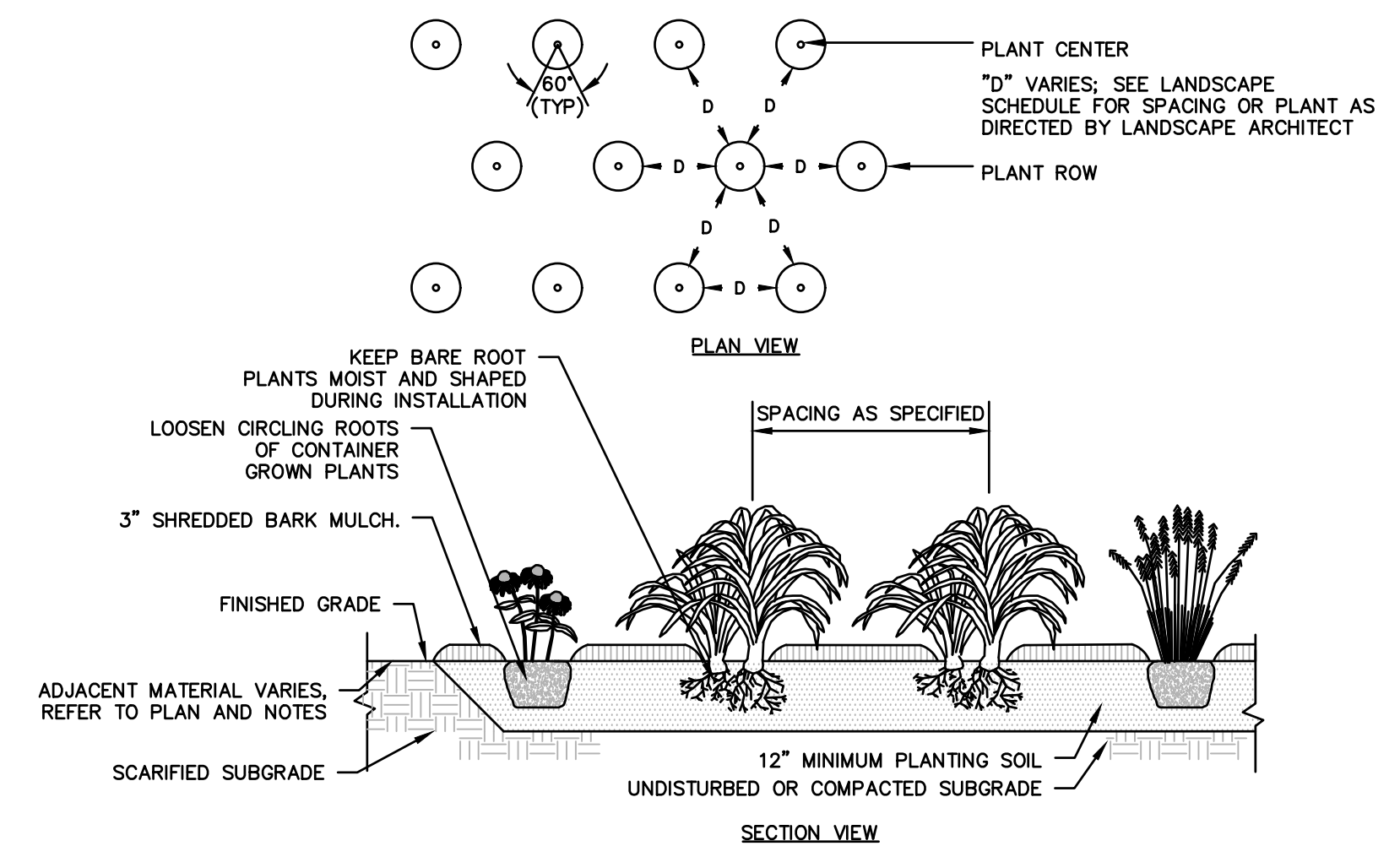
EVERGREEN TREE PLANTING

N.T.S.



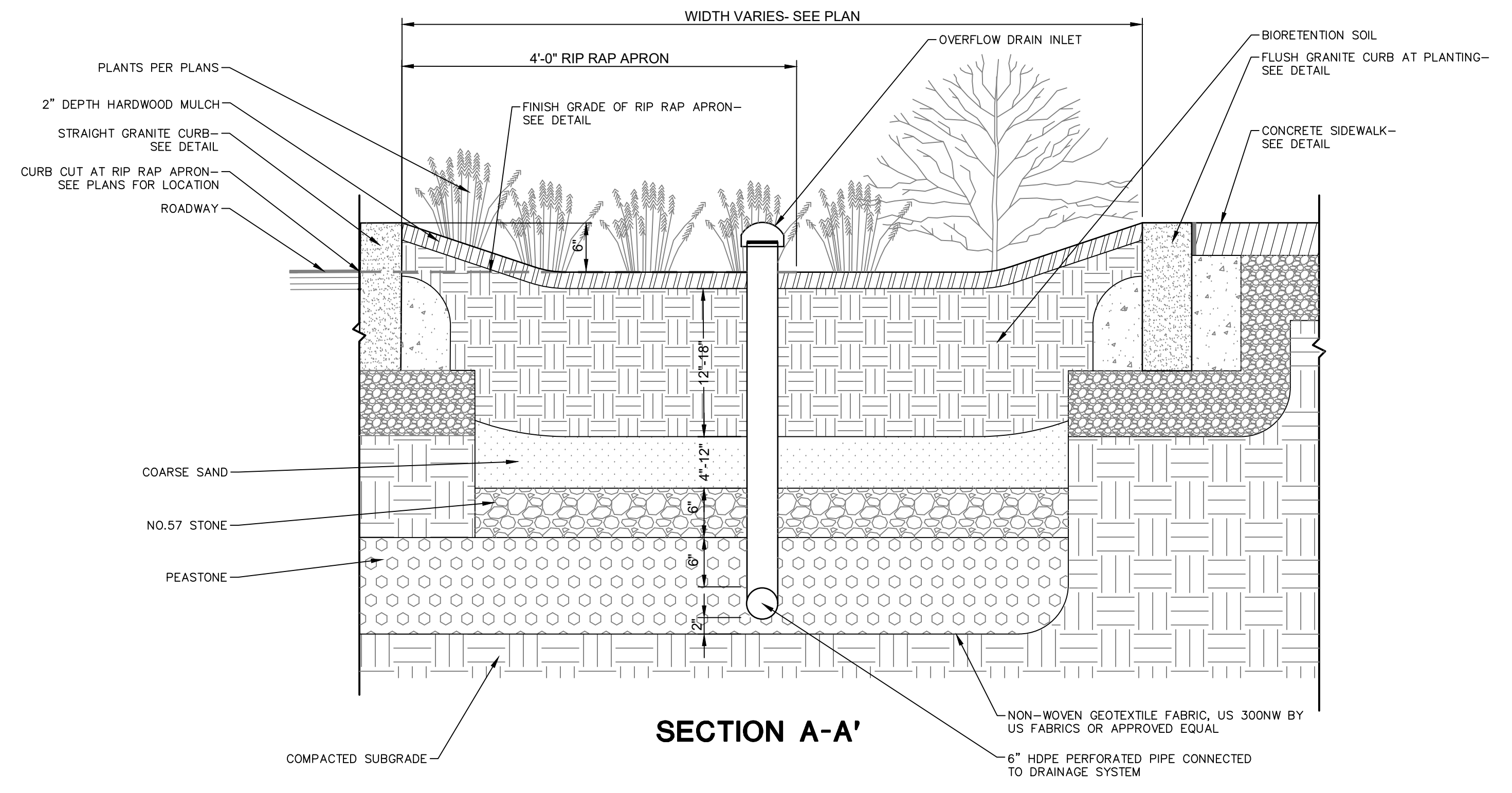
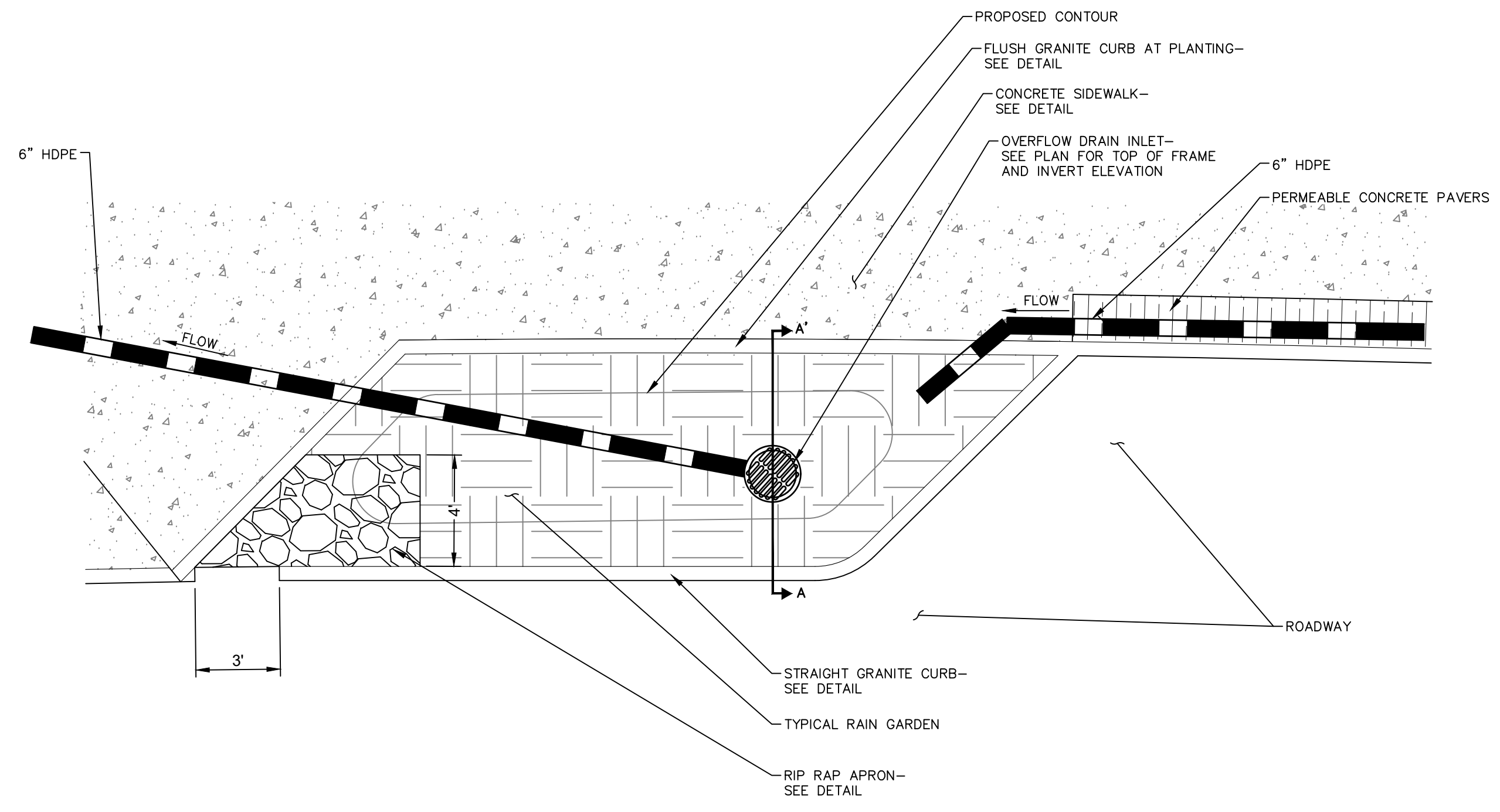
SHRUB PLANTING, TYP.

N.T.S.

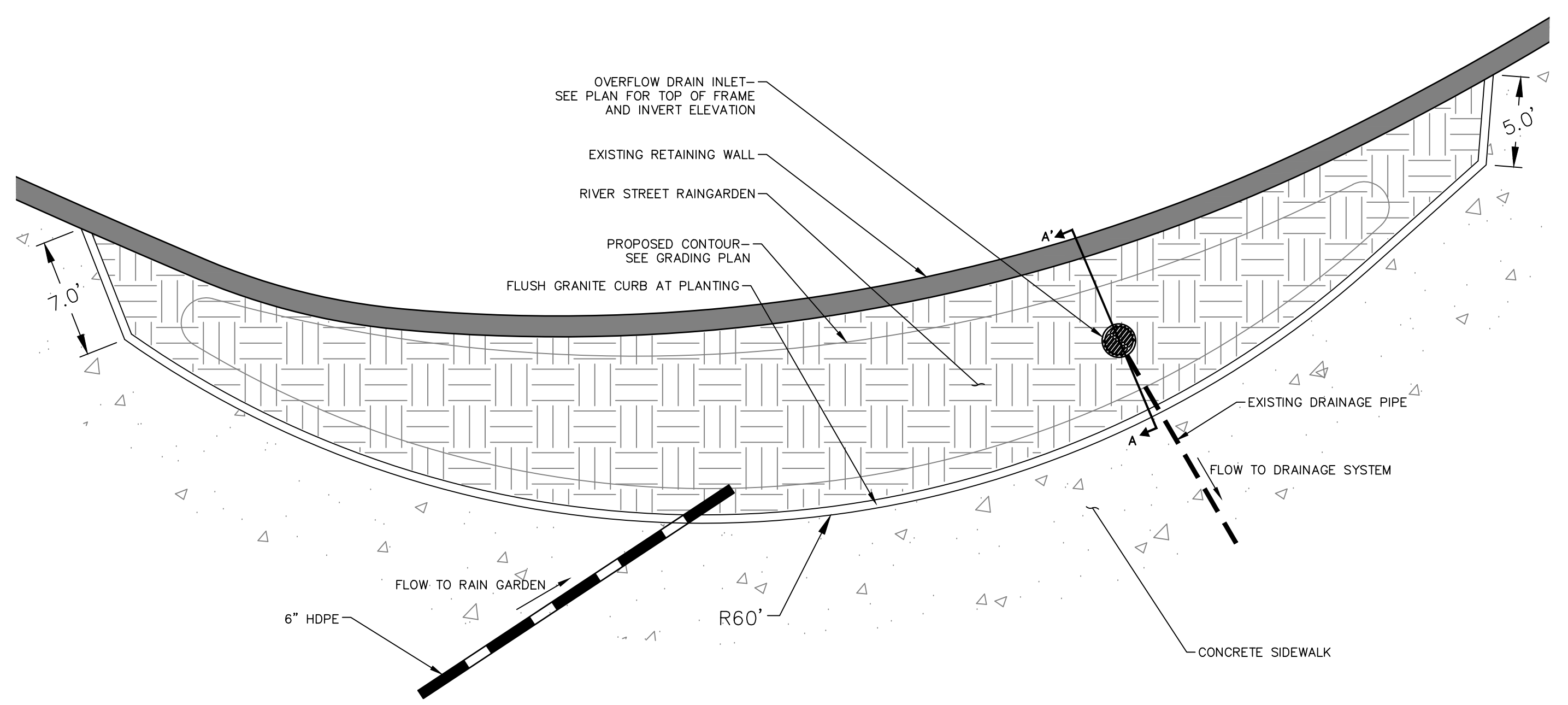


GROUNDCOVER/PERENNIAL PLANTING

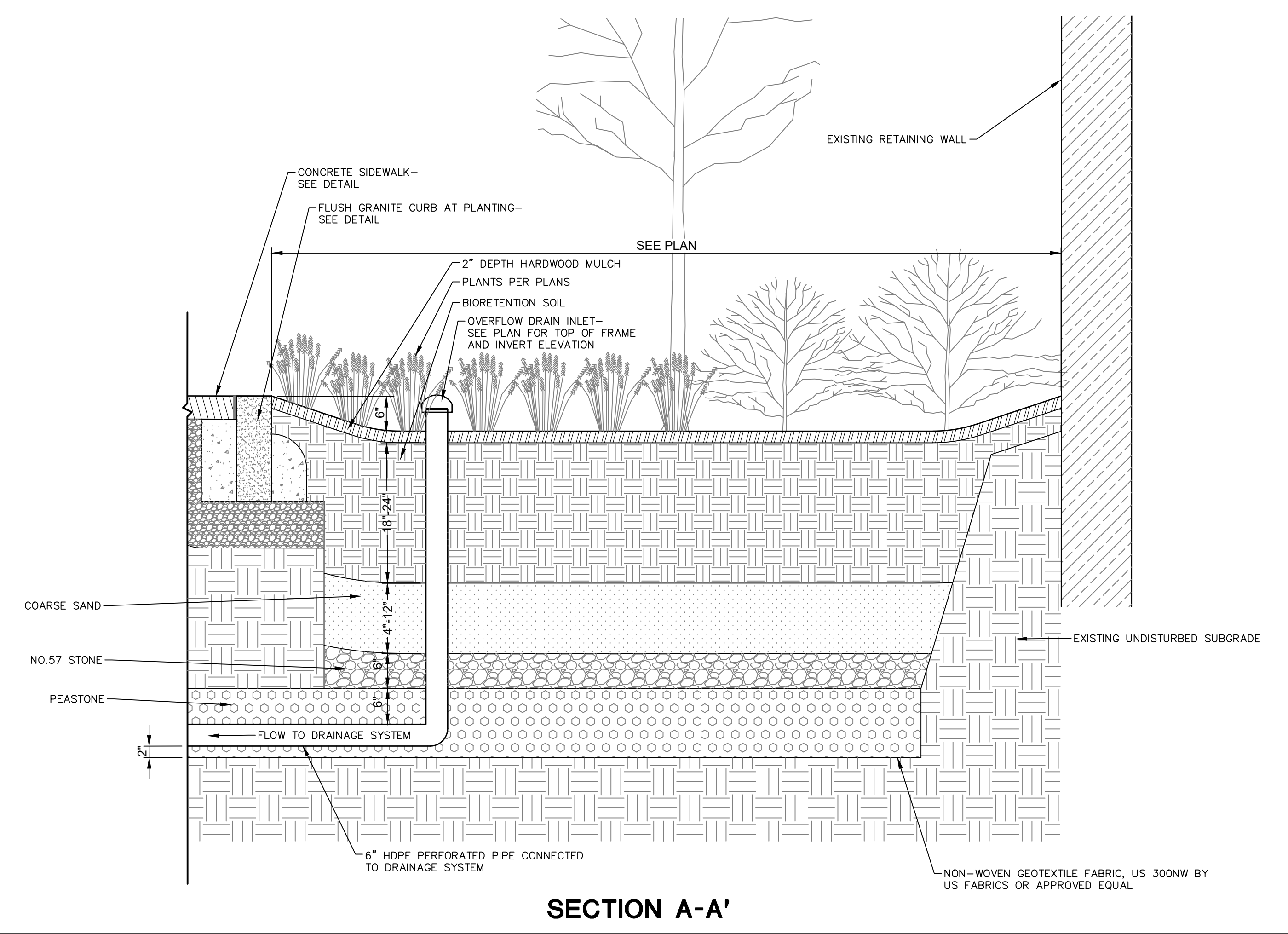
N.T.S.



TYPICAL RAIN GARDEN DETAIL
N.T.S.



RIVER STREET RAIN GARDEN DETAIL
N.T.S.



S:\2021\KAREED\1\COMPANIES\COM\15\PROJ\040520\1A\2001478\DWG\DN-11.DWG

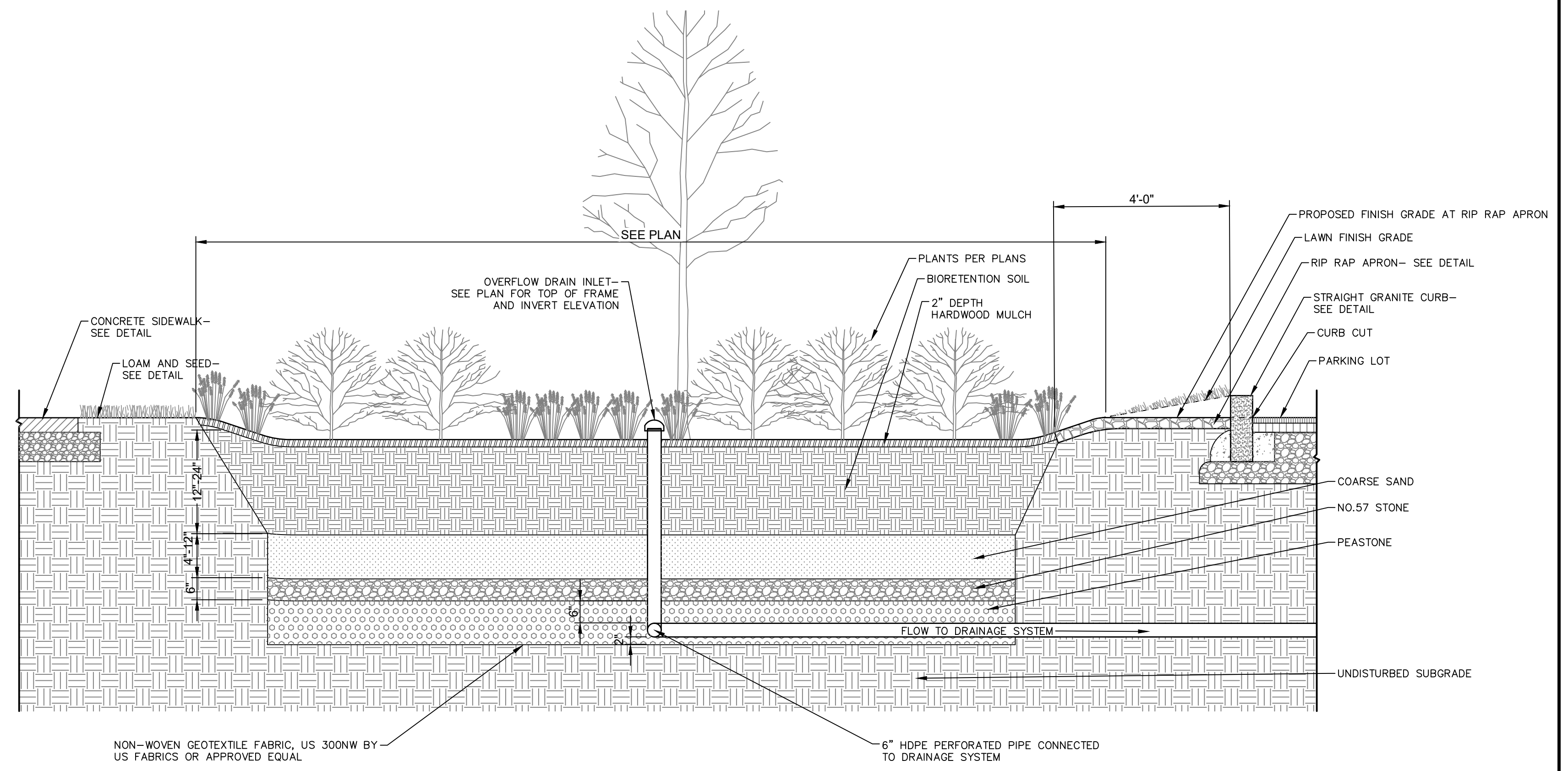
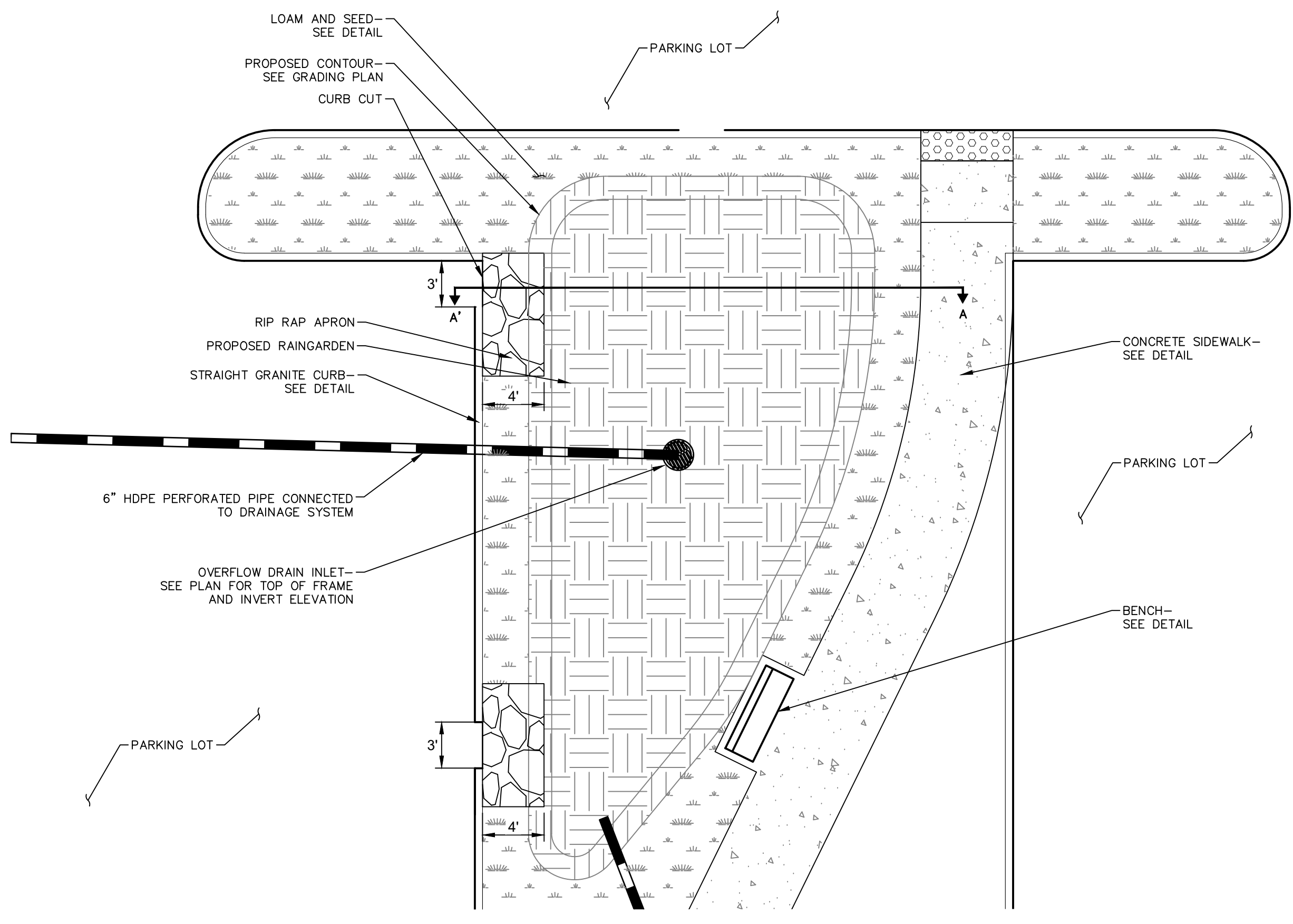
REVISIONS	No.	Date	Desc.

Designed K.A.
Drawn K.A.
Reviewed M.M.
Scale
Project No. 2001478
Date May, 2021
CAD File: DN200147801

Title
SITE LANDSCAPE DETAILS

Sheet No.

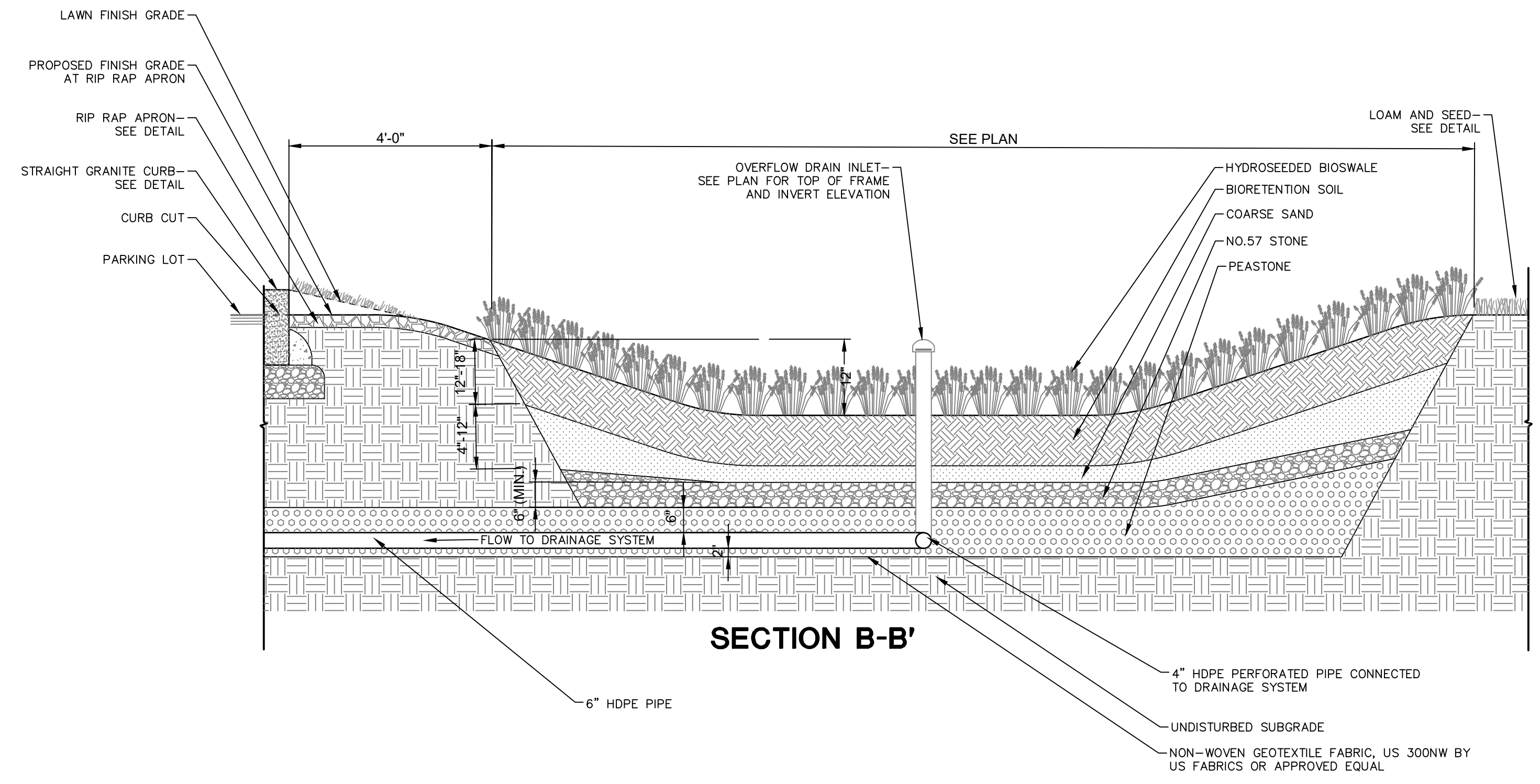
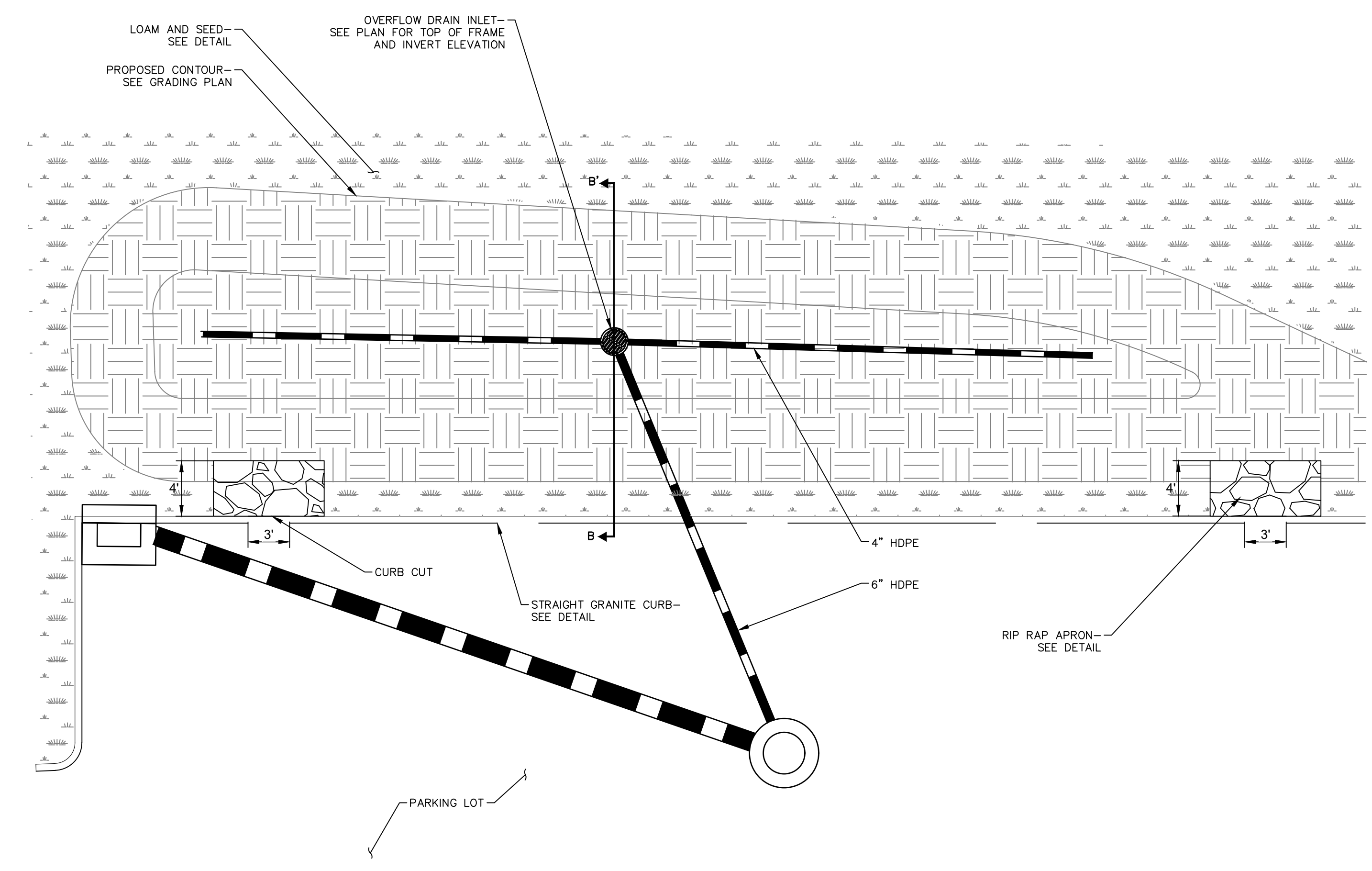
DN-12



SECTION A-A'

RAIN GARDEN AT PARKING LOT DETAIL

N.T.S.

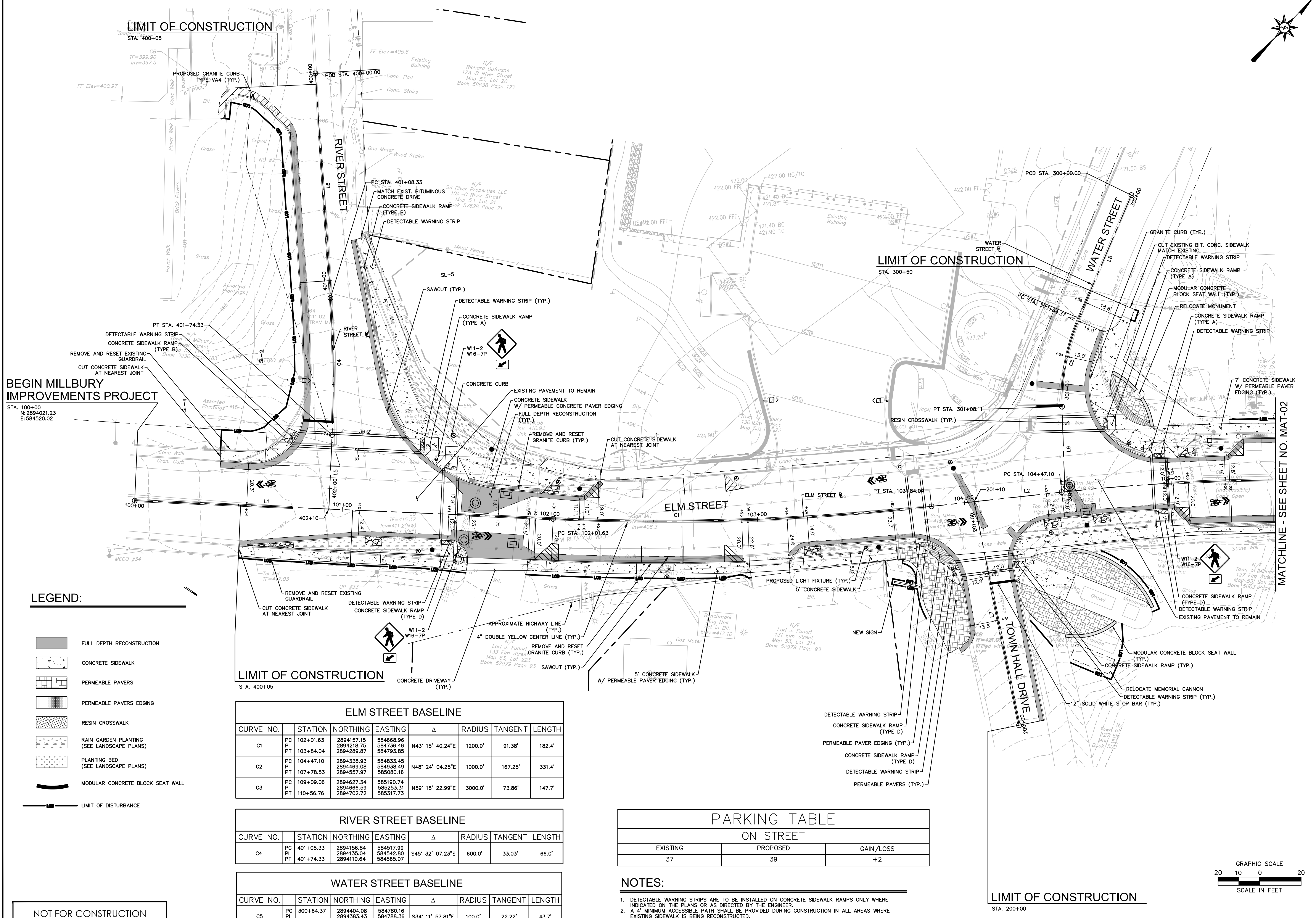
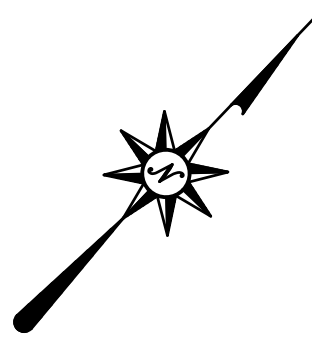


SECTION B-B'

BIOSWALE AT PARKING LOT



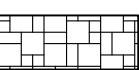

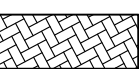
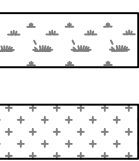



N.T.S.

5/24/2021, K.A.FREED, \\BLCOMPANIES\COM\DESIGN\PROJ\02001478\DWG\012.DWG



BEGIN MILLBURY IMPROVEMENTS PROJECT
STA. 100+00
N: 2894021.23
E: 584520.02

LEGEND:

-  FULL DEPTH RECONSTRUCTION
-  CONCRETE SIDEWALK
-  PERMEABLE PAVERS
-  PERMEABLE PAVERS EDGING
-  RESIN CROSSWALK
-  RAIN GARDEN PLANTING (SEE LANDSCAPE PLANS)
-  PLANTING BED (SEE LANDSCAPE PLANS)
-  MODULAR CONCRETE BLOCK SEAT WALL
-  LIMIT OF DISTURBANCE

ELM STREET BASELINE

CURVE NO.	STATION	NORTHING	EASTING	Δ	RADIUS	TANGENT	LENGTH
C1	PC	2894157.15	584668.98	N43° 15' 40.24"E	1200.0'	91.38'	182.4'
	PI	2894218.75	584736.46				
	PT	2894289.87	584793.85				
C2	PC	2894338.93	584833.45	N48° 24' 04.25"E	1000.0'	167.25'	331.4'
	PI	2894469.08	584938.49				
	PT	2894557.97	585080.16				
C3	PC	2894627.34	585190.74	N59° 18' 22.99"E	3000.0'	73.86'	147.7'
	PI	2894666.59	585253.31				
	PT	2894702.72	585317.73				

RIVER STREET BASELINE

CURVE NO.	STATION	NORTHING	EASTING	Δ	RADIUS	TANGENT	LENGTH
C4	PC	2894156.84	584517.99	S45° 32' 07.23"E	600.0'	33.03'	66.0'
	PI	2894135.04	584542.80				
	PT	2894110.64	584565.07				

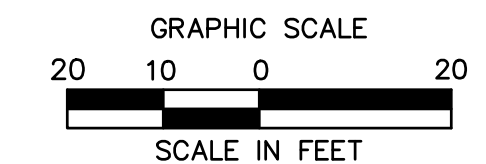
WATER STREET BASELINE

CURVE NO.	STATION	NORTHING	EASTING	Δ	RADIUS	TANGENT	LENGTH
C5	PC	2894404.08	584780.16	S34° 11' 57.81"E	100.0'	22.22'	43.7'
	PI	2894383.43	584788.36				
	PT	2894368.20	584804.55				

PARKING TABLE ON STREET

EXISTING	PROPOSED	GAIN/LOSS
37	39	+2

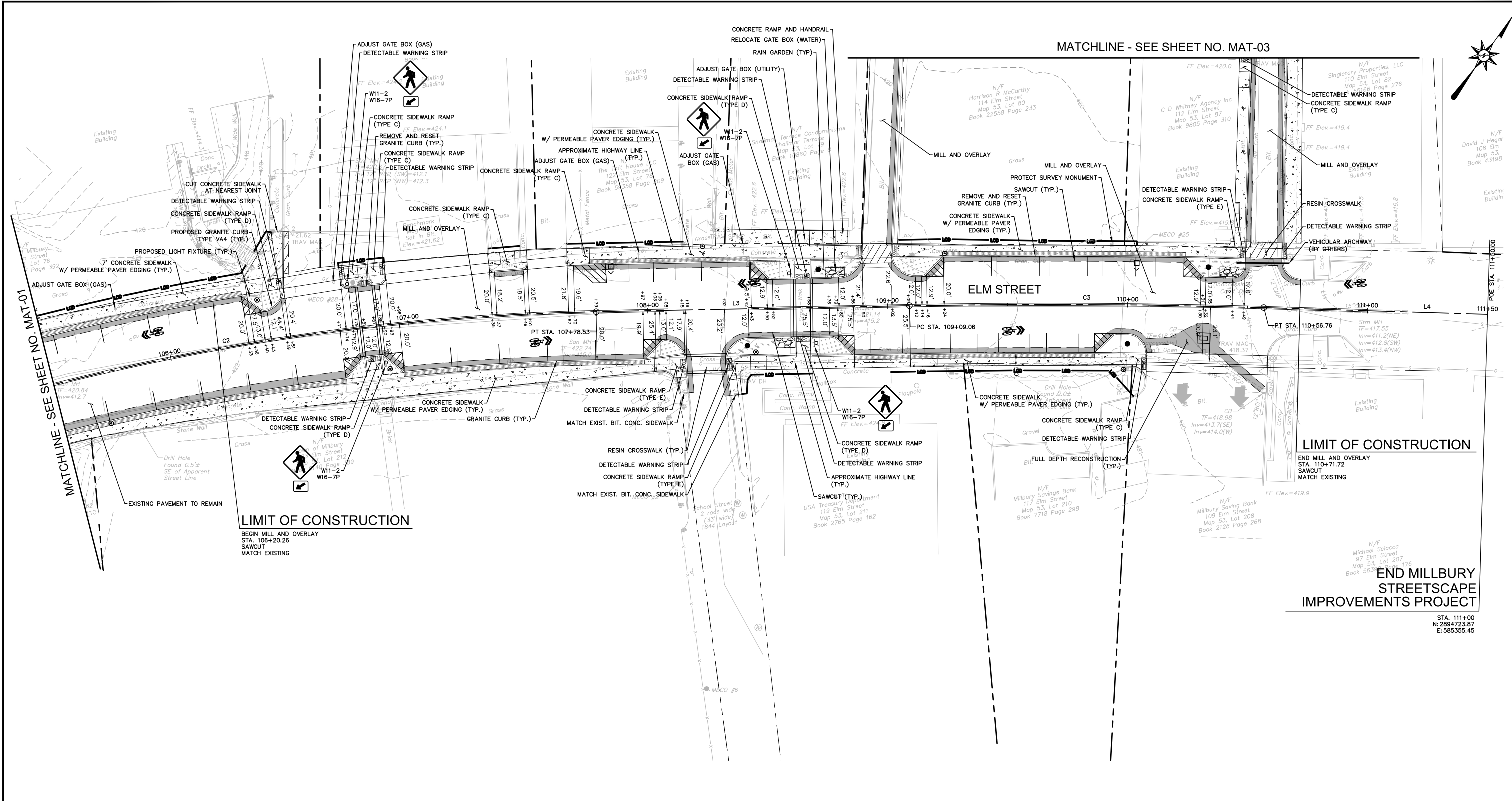
- NOTES:**
- DETECTABLE WARNING STRIPS ARE TO BE INSTALLED ON CONCRETE SIDEWALK RAMPS ONLY WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 - A 4' MINIMUM ACCESSIBLE PATH SHALL BE PROVIDED DURING CONSTRUCTION IN ALL AREAS WHERE EXISTING SIDEWALK IS BEING RECONSTRUCTED.



NOT FOR CONSTRUCTION

LIMIT OF CONSTRUCTION
STA. 200+00

5/24/2021, 10:45:00 AM, I:\COMPANIES\DESIGN\PROJECTS\2021\21-001\REVISED\21-001-01-MAT-01.DWG



LEGEND:

- CONCRETE DRIVEWAY
- FULL DEPTH RECONSTRUCTION
- CONCRETE SIDEWALK
- PERMEABLE PAVER EDGING
- RESIN CROSSWALK
- RAIN GARDEN PLANTING (SEE LANDSCAPE PLANS)
- PLANTING BED (SEE LANDSCAPE PLANS)
- VEHICULAR ARCHWAY (BY OTHERS)
- LIMIT OF DISTURBANCE

NOT FOR CONSTRUCTION

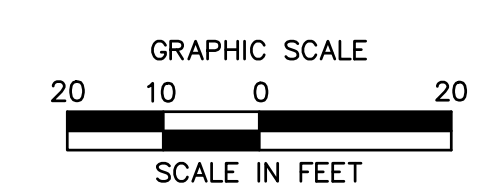
ELM STREET BASELINE							
CURVE NO.	STATION	NORTHING	EASTING	Δ	RADIUS	TANGENT	LENGTH
C1	PC 102+01.63	2894157.15	584668.96	N43° 15' 40.24"E	1200.0'	91.38'	182.4'
	PI 103+84.04	2894218.75	584736.46				
C2	PC 104+47.10	2894338.93	584833.45	N48° 24' 04.25"E	1000.0'	167.25'	331.4'
	PI 107+78.53	2894463.08	585080.16				
C3	PC 109+09.06	2894627.34	585190.74	N59° 18' 22.99"E	3000.0'	73.86'	147.7'
	PI 110+56.76	2894666.59	585253.31				

RIVER STREET BASELINE							
CURVE NO.	STATION	NORTHING	EASTING	Δ	RADIUS	TANGENT	LENGTH
C4	PC 401+08.33	2894156.84	584517.99	S45° 32' 07.23"E	600.0'	33.03'	66.0'
	PI 401+74.33	2894110.64	584565.07				

WATER STREET BASELINE							
CURVE NO.	STATION	NORTHING	EASTING	Δ	RADIUS	TANGENT	LENGTH
C5	PC 300+64.37	2894404.08	584780.16	S34° 11' 57.81"E	100.0'	22.22'	43.7'
	PI 301+08.11	2894363.43	584785.36				

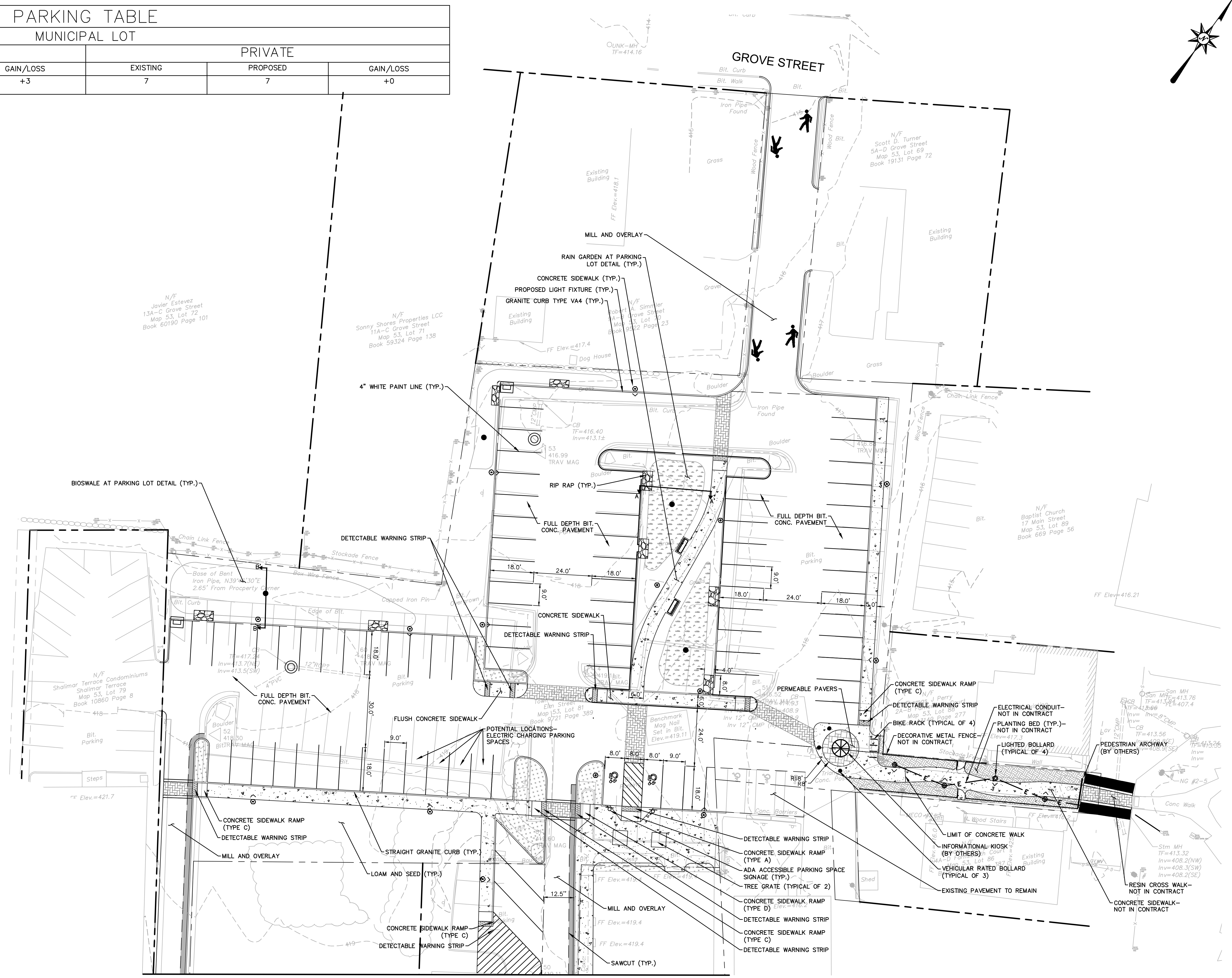
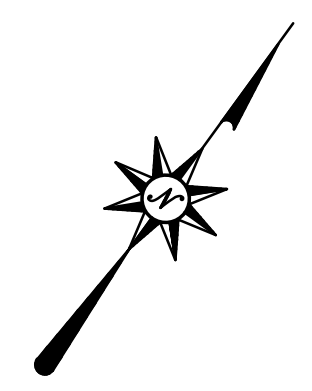
PARKING TABLE ON STREET		
EXISTING	PROPOSED	GAIN/LOSS
37	39	+2

- NOTES:**
- DETECTABLE WARNING STRIPS ARE TO BE INSTALLED ON CONCRETE SIDEWALK RAMPS ONLY WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 - A 4' MINIMUM ACCESSIBLE PATH SHALL BE PROVIDED DURING CONSTRUCTION IN ALL AREAS WHERE EXISTING SIDEWALK IS BEING RECONSTRUCTED.

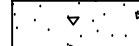









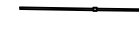



20/21/2021, KAREED, I:\COMPANIES\COMPUTERS\PROJ\020021\1A\001\481\DWG\MAT20047801.DWG (MAT-02)

PARKING TABLE					
PUBLIC			PRIVATE		
EXISTING	PROPOSED	GAIN/LOSS	EXISTING	PROPOSED	GAIN/LOSS
77 TOTAL- 76 PUBLIC, 1 SPACE LOADING	79 PUBLIC, 1 SPACE LOADING	+3	7	7	+0



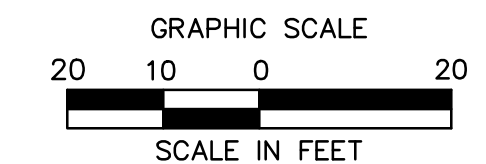
LEGEND:

-  CONCRETE SIDEWALK
-  RESIN CROSSWALK
-  PERMEABLE PAVERS
-  RAIN GARDEN PLANTING (SEE LANDSCAPE PLANS)
-  SHRUB & GROUNDCOVER PLANTING (SEE LANDSCAPE PLANS)
-  SEEDED BIO SWALE (SEE LANDSCAPE PLANS)
-  BENCH
-  BIKE RACK
-  INFORMATIONAL KIOSK (BY OTHERS)
-  LIMIT OF DISTURBANCE
-  ELECTRICAL CONDUIT (NOT IN CONTRACT)
-  DECORATIVE METAL FENCE (NOT IN CONTRACT)

NOTES:

1. DETECTABLE WARNING STRIPS ARE TO BE INSTALLED ON CONCRETE SIDEWALK RAMP ONLY WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
2. A 4' MINIMUM ACCESSIBLE PATH SHALL BE PROVIDED DURING CONSTRUCTION IN ALL AREAS WHERE EXISTING SIDEWALK IS BEING RECONSTRUCTED.

MATCHLINE - SEE SHEET NO. MAT-02



NOT FOR CONSTRUCTION

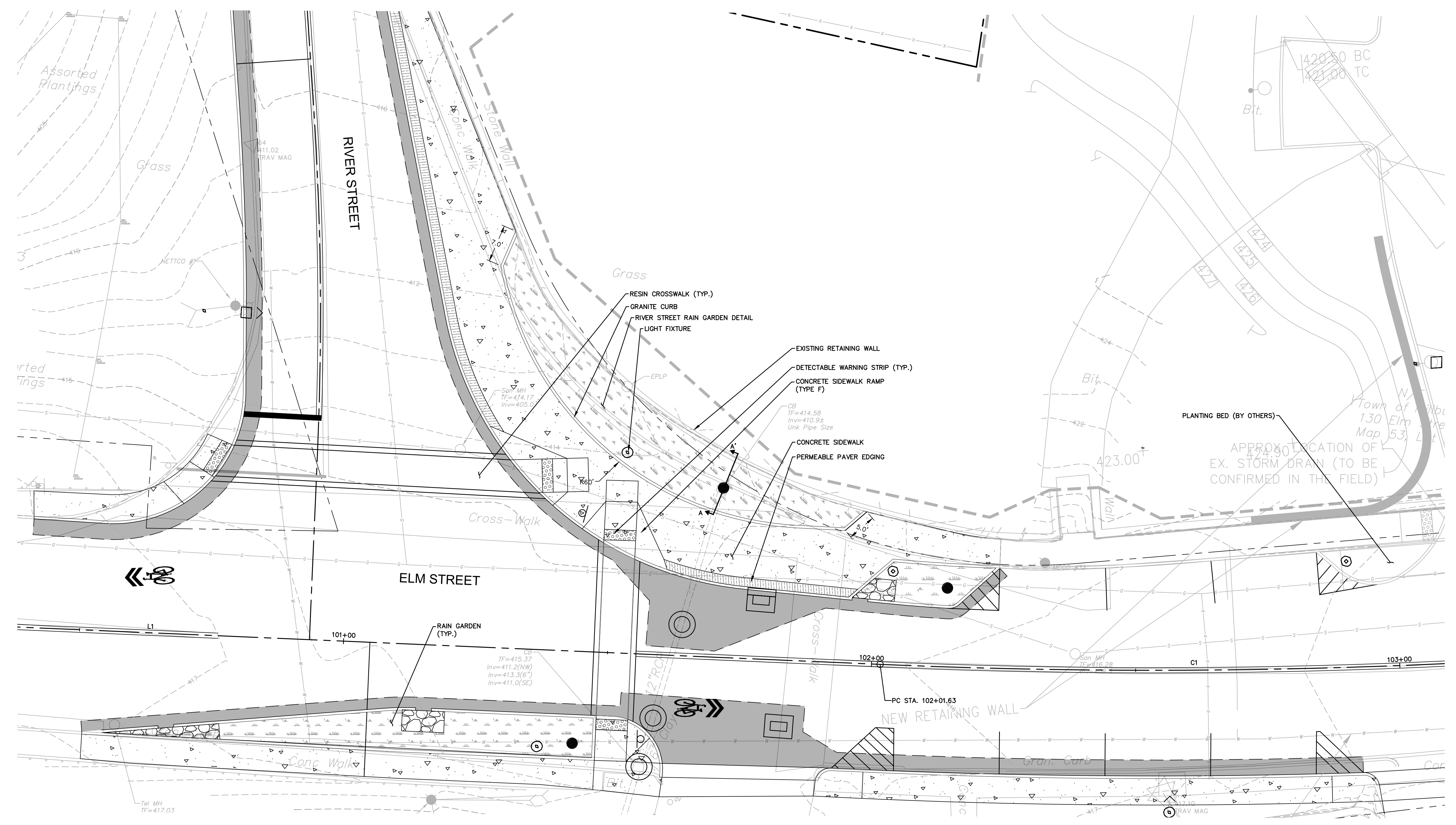
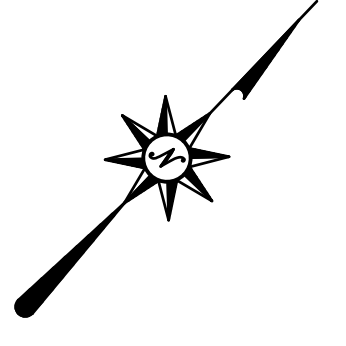
REVISIONS	No.	Date	Desc.

Designed M.M.
Drawn B.C.T.
Reviewed N.R.G.
Scale 1" = 20'
Project No. 2001478
Date May, 2021
CAD File: MAT20047801

Title
MATERIALS PLAN

Sheet No.


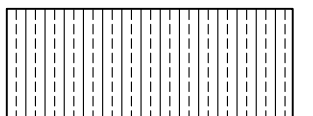
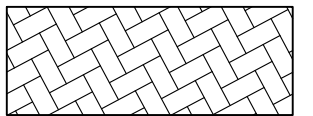
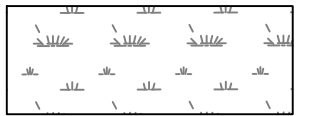
MAT-03



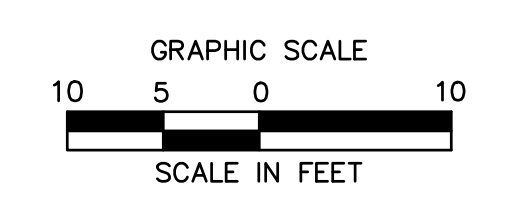
RIVER STREET INTERSECTION ENLARGEMENT

N.T.S.

LEGEND

-  CONCRETE SIDEWALK
-  PERMEABLE PAVER EDGING
-  RESIN CROSSWALK
-  RAIN GARDEN PLANTING
(SEE LANDSCAPE PLANS)

NOT FOR CONSTRUCTION



REVISIONS

No.	Date	Desc.

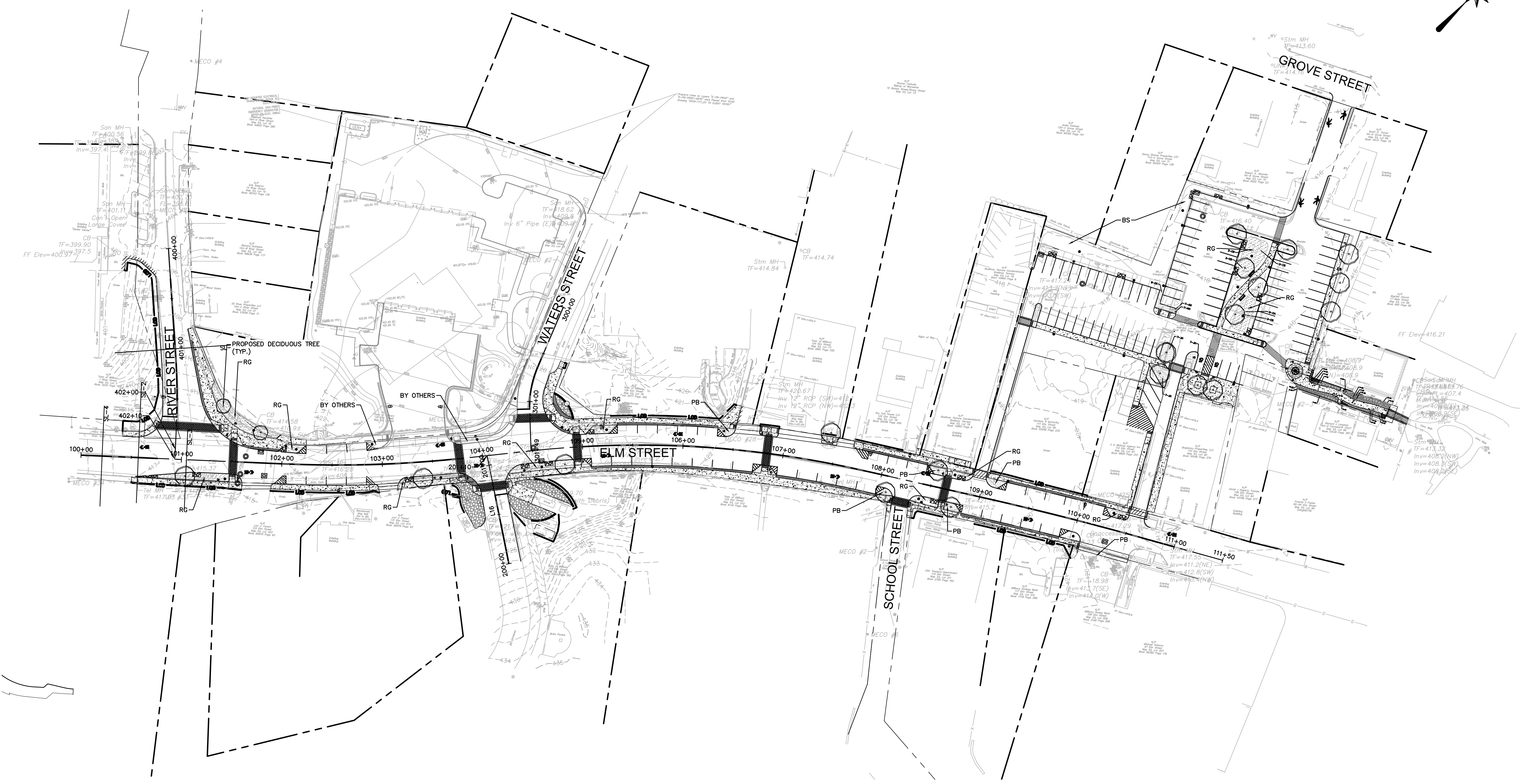
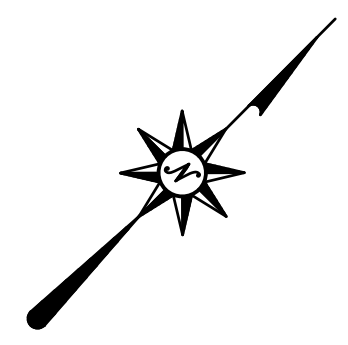
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Drawn	K.A.
Reviewed	N.R.G.
Scale	1" = 10'
Project No.	2001478
Date	May, 2021
CAD File:	MAT20047801

Title
MATERIALS ENLARGEMENT PLAN




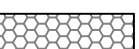
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MAT-04

MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

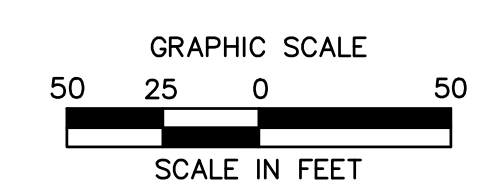


LEGEND:

-  DECIDUOUS TREE- 2.5"-3" CALIPER
-  PERENNIALS/ORNAMENTAL GRASSES (1 GALLON)
-  GROUND COVER (3 GALLON)
-  BIOSWALE- SEED MIX

ABBREVIATIONS:
BS: BIOSWALE
PB: PLANTING BED
RG: RAIN GARDEN

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REVISIONS	
No.	Date

Designed	M.M.
Drawn	K.A.
Reviewed	XXX
Scale	1" = 50'
Project No.	2001478
Date	May, 2021
CAD File:	LL20047802
Title	
OVERALL LANDSCAPE PLAN	
Sheet No.	

LL-00

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ELM STREET
MILLBURY, MA

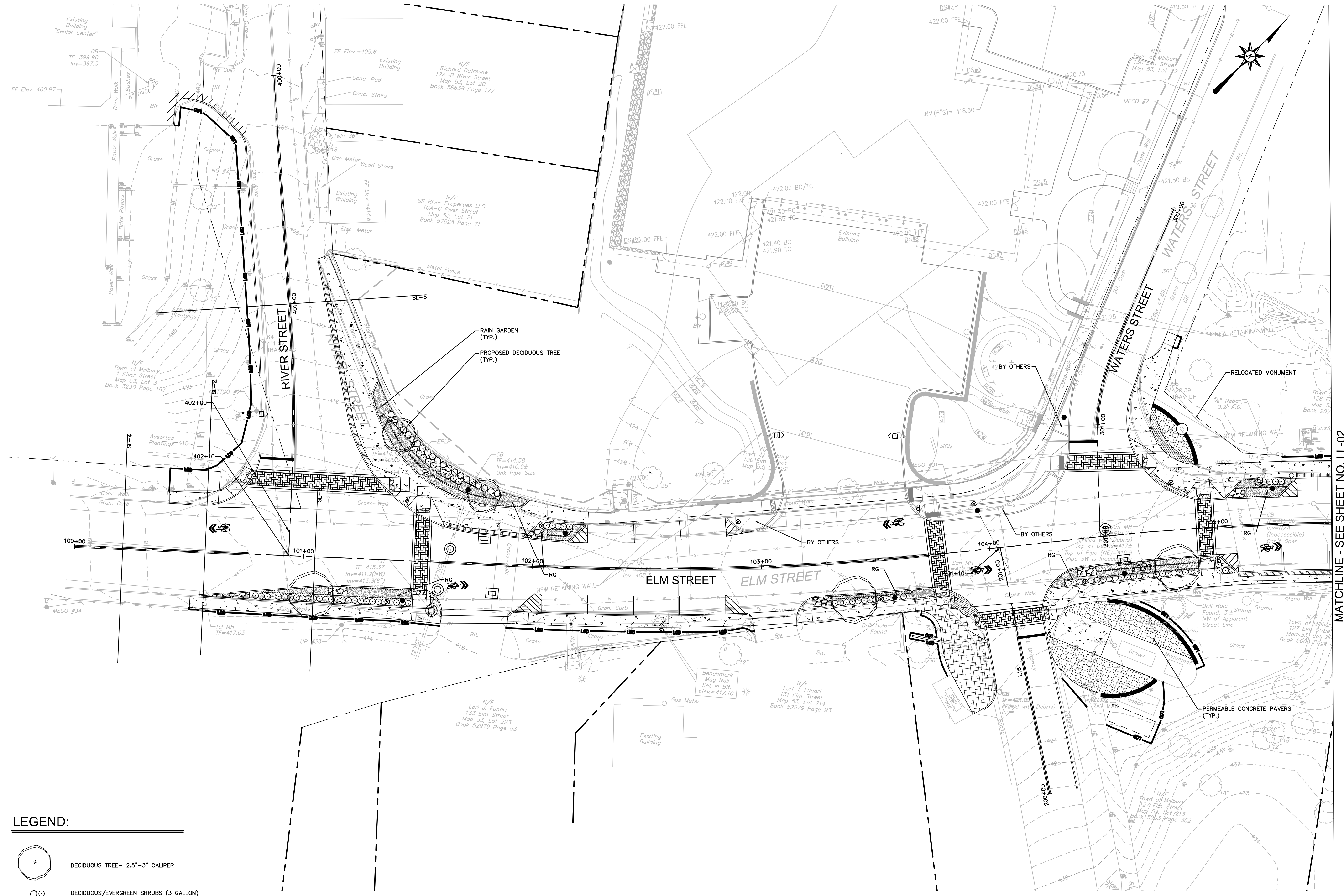
REVISIONS	Desc.
No.	Date

Designed M.M.
Drawn K.A.
Reviewed XXX
Scale 1" = 20'
Project No. 2001478
Date May, 2021
CAD File: LL20047802

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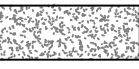

LANDSCAPE PLAN

LL-01

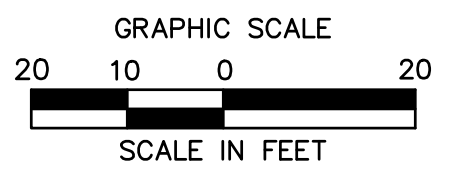


MATCHLINE - SEE SHEET NO. LL-02

LEGEND:

-  DECIDUOUS TREE-- 2.5"-3" CALIPER
-  DECIDUOUS/EVERGREEN SHRUBS (3 GALLON)
-  PERENNIALS/ORNAMENTAL GRASSES (1 GALLON)
-  GROUNDCOVER (3 GALLON)

ABBREVIATIONS:
PB: PLANTING BED
RG: RAIN GARDEN



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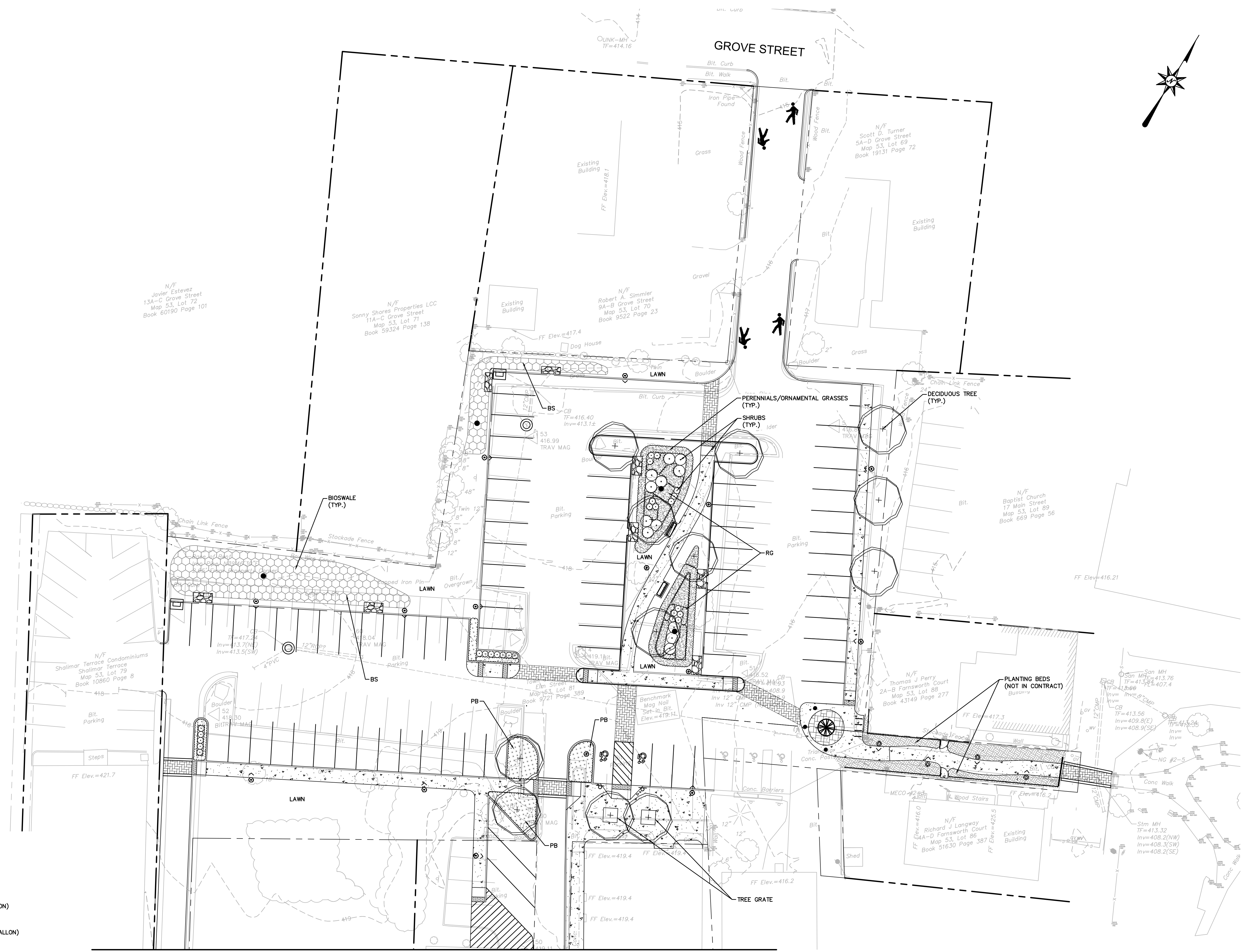
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ELM STREET
MILLBURY, MA

REVISIONS	No.	Date	Desc.

LANDSCAPE PLAN

Sheet No.

LL-03



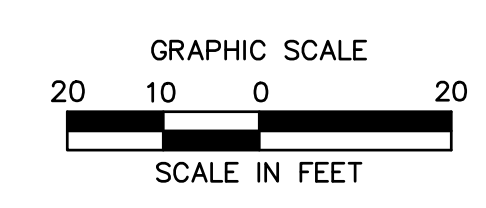
LEGEND:

- DECIDUOUS TREE-- 2.5"-3" CALIPER
- DECIDUOUS/EVERGREEN SHRUBS (3 GALLON)
- PERENNIALS/ORNAMENTAL GRASSES (1 GALLON)
- GROUNDCOVER (3 GALLON)
- BIOSWALE-- SEED MIX

ABBREVIATIONS:
BS: BIOSWALE
PB: PLANTING BED
RG: RAIN GARDEN

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MATCHLINE - SEE SHEET NO. LL-02



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LANDSCAPE NOTES

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER, AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRINKLING, WEEDING, WATERING, TIGHTENING GUYES, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
- ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
- IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
- LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING, PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
- PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Co,Mg,S,F,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SOOS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

ORGANIC CONTENT	3% - 6% FOR LAWN OR GRASS AREAS. 4% - 8% FOR TREE AND SHRUB PLANTERS.
(BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)	85-18% FOR RETENTION OR RETENTION BASINS.
PH	6.0 - 7.3
- NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN.
- SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF NEW HAMPSHIRE, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
 - LOAM
 - SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.
 - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
 - SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
 - SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW: ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

	SPRING	FALL
EVERGREEN TREES AND SHRUBS	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
DECIDUOUS TREES AND SHRUBS	APRIL 1 TO JUNE 15	SEPTEMBER 15 TO NOVEMBER 15
GROUNDCOVERS	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
PERENNIALS	MAY 15 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
SEED MIXES	PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES	

16. SEEDING MIXTURES: REFER TO SEED MIX NOTES.

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.

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SEED MIX NOTES

- LAWN SEEDING MIX:
 - 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
 - 25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
 - 60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
 - SEEDING RATE: 5 LBS/1,000 S.F.
 - SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- BIOSWALE SEEDING MIX:
 - MANUFACTURER: ERNST CONSERVATION SEEDS, (800) 873-3321, SALES@ERNSTSEED.COM
 - PRODUCT: RAIN GARDEN GRASS MIX
 - APPLICATION RATE: 15LB/ACRE



220 Norwood Park South
Norwood, MA 02062
(781) 619-9500

MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

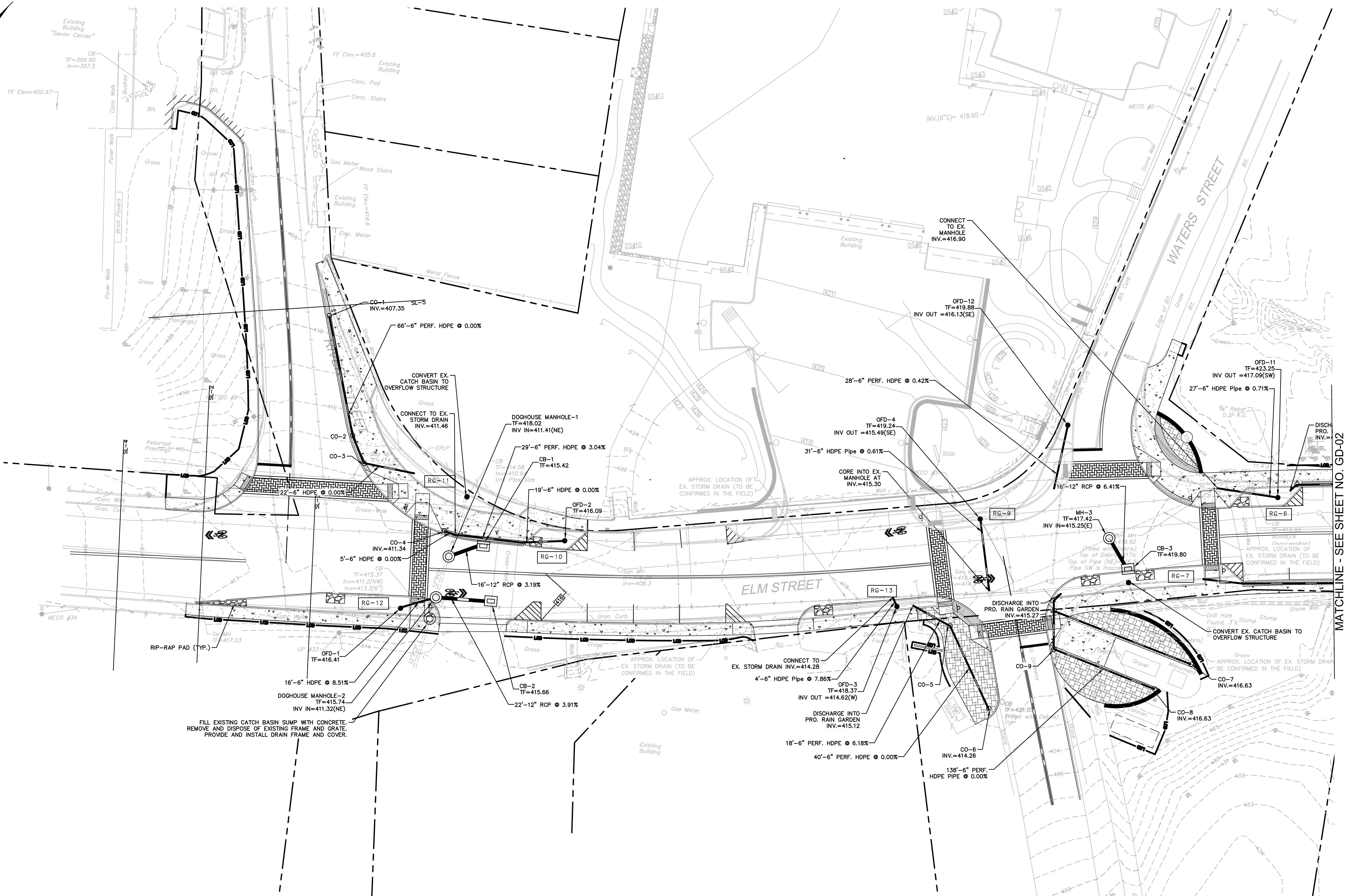
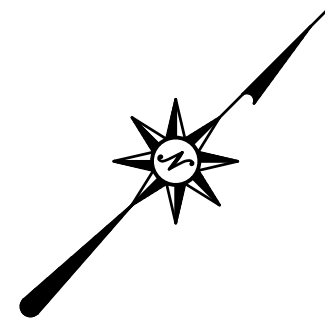
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No. Date Desc.

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Drawn K.A.
Reviewed xxx
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Project No. 2001478
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CAD File: LL20047802

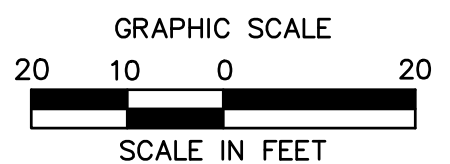
Title
LANDSCAPE NOTES

Sheet No.

LL-04



MATCHLINE - SEE SHEET NO. GD-02



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MILLBURY DOWNTOWN PHASE 2

ELM STREET
MILLBURY, MA

REVISIONS	Desc.
No.	Date

Designed	L.A.E.
Drawn	L.A.E.
Reviewed	XXX
Scale	1" = 20'
Project No.	2001478
Date	May, 2021
CAD File:	GD200147801

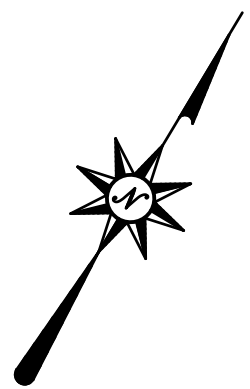
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GRADING AND DRAINAGE PLAN

Sheet No.

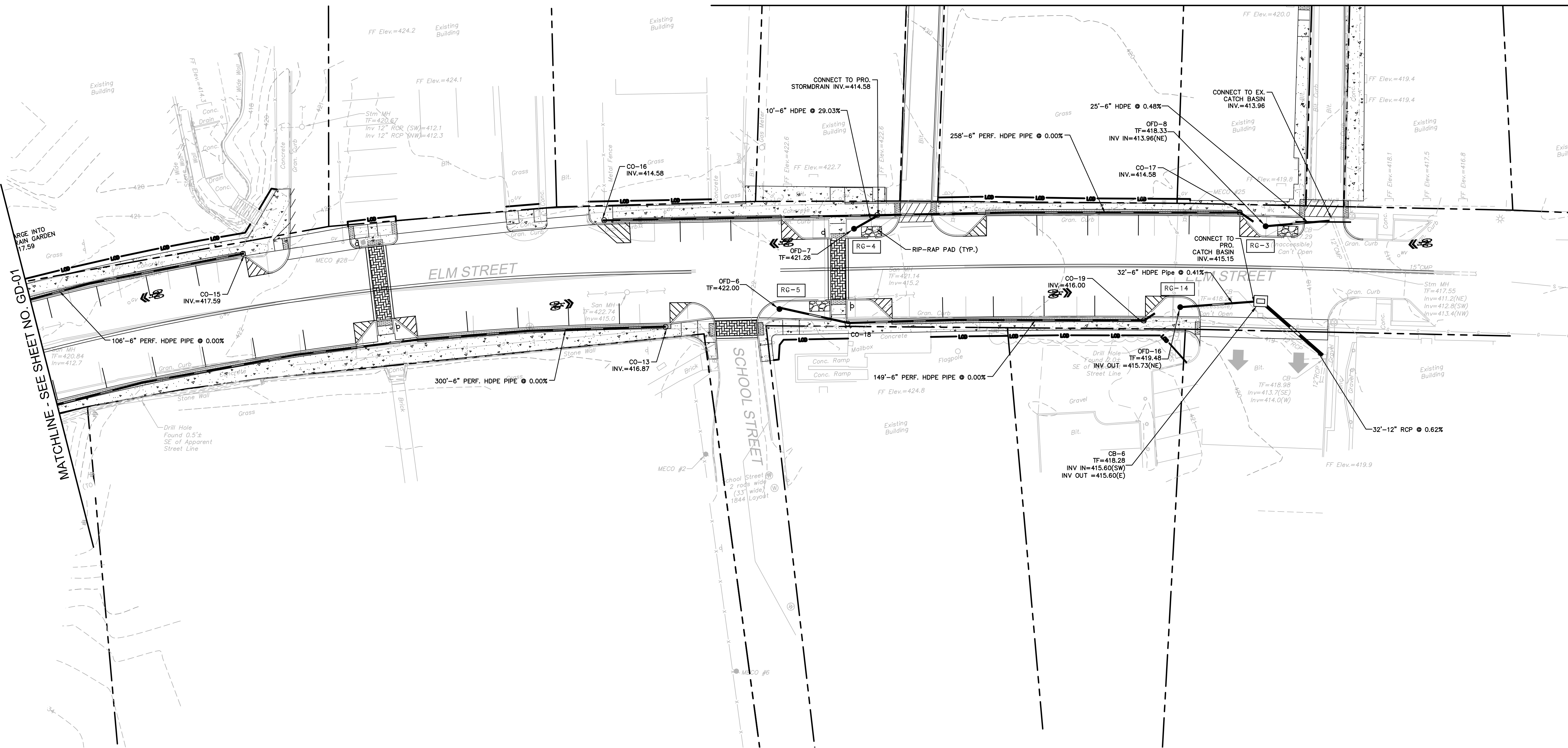
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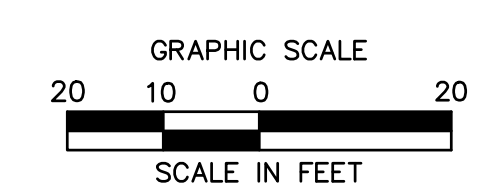


MATCHLINE - SEE SHEET NO. GD-03



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MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

REVISIONS	No.	Date	Desc.

Designed	L.A.E.
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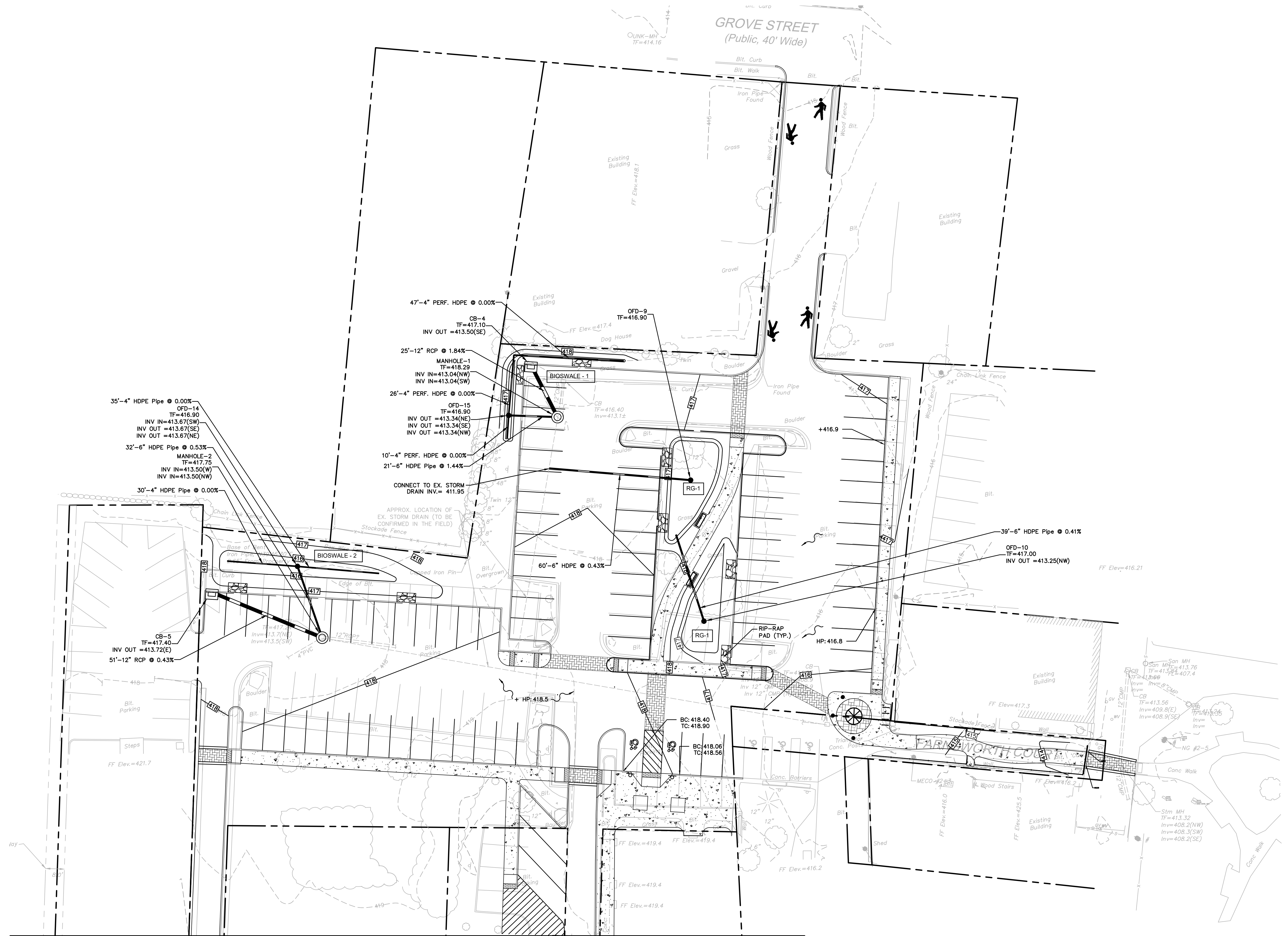
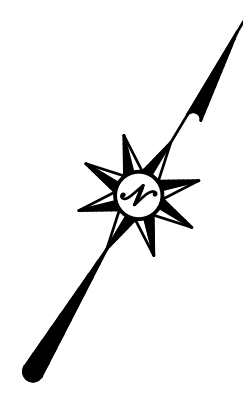
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GRADING AND DRAINAGE PLAN

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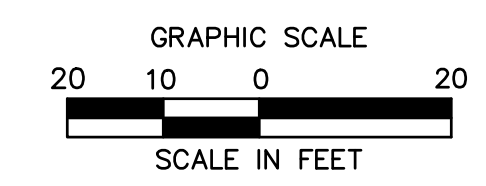
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MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

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Reviewed XXX
Scale 1" = 20'
Project No. 2001478
Date May, 2021
CAD File: GD200147801

Title
GRADING AND DRAINAGE PLAN

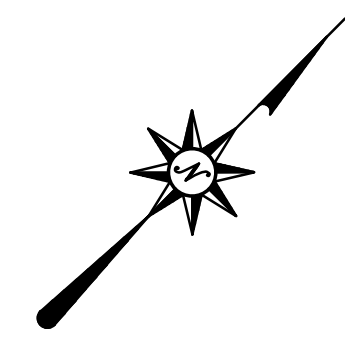
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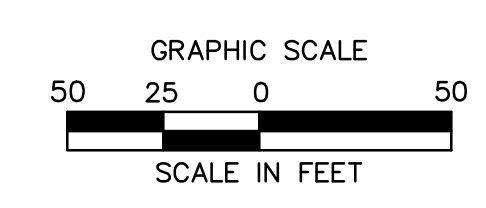
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MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Distribution
⊙	T5	18	Holophane	GVD3 P30 30K XXXX GL5 RB	GranVille Gen3, P30 Performance Package, 3000K CCT, 70CRI, Type 5 distribution with Ribs and Bands	1	GVD3_P30_30K_XXXX_GL5_RB.ies	7616	1	0.9	61	TYPE VS, BUG RATING: B3 - U4 G3
⊙	T3	3	Holophane	GVD3 P30 30K XXXX GL3 RB	GranVille Gen3, P30 Performance Package, 3000K CCT, 70CRI, Type 3 distribution with Ribs and Bands	1	GVD3_P30_30K_XXXX_GL3_RB.ies	7517	1	0.9	61	TYPE IV, MEDIUM, BUG RATING: B2 U4 - G5
⊙	T3HS	10	Holophane	GVD3 P30 30K XXXX GL3 RB GVDHSS18	GranVille Gen3, P30 Performance Package, 3000K CCT, 70CRI, Type 3 distribution with Ribs and Bands and with 180deg House Side Shield	1	GVD3_P30_30K_XXXX_GL3_RB_GVDHSS18.ies	5430	1	0.9	61	TYPE IV, MEDIUM, BUG RATING: B1 U4 - G5
⊙	B	4	Lithonia Lighting	DSXB LED 12C 350 30K	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 350mA AND ASYMMETRIC DISTRIBUTION	1	DSXB_LED_12C_350_30K_ASY.ies	1194	1	0.9	16	TYPE IV, SHORT, BUG RATING: B1 U0 - G1
⊙	SL-EX	4	American Electric Lighting	ASY ATB2 40BLEDE10 XXXX R4 3K	ATB2 SERIES LED 1000MA TYPE 4 3000K CCT	1	ATB2_40BLEDE10_XXXX_R4_3K.ies	15626	1	0.3	133	TYPE IV, SHORT, BUG RATING: B3 U0 - G3
⊙	SL-NEW	2	American Electric Lighting	ATB2 40BLEDE10 XXXX R4 3K	ATB2 SERIES LED 1000MA TYPE 4 3000K CCT	1	ATB2_40BLEDE10_XXXX_R4_3K.ies	15626	1	0.7	133	TYPE IV, SHORT, BUG RATING: B3 U0 - G3



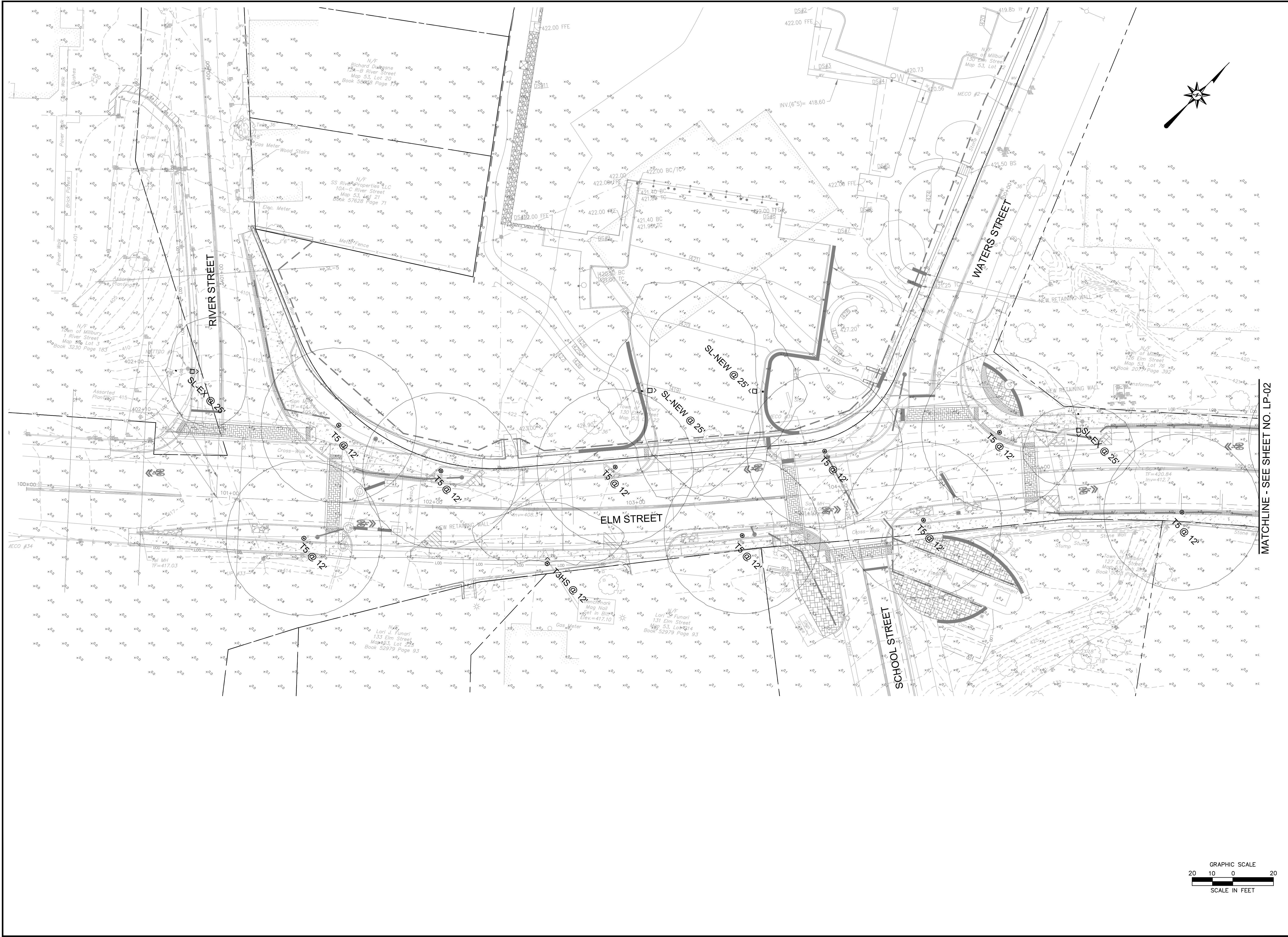
REVISIONS
No. Date
Desc.

Designed M.M.
Drawn L.M.W.
Reviewed S.D.F.
Scale 1" = 50'
Project No. 2001478
Date May, 2021
CAD File: LP200147801

Title
OVERALL LIGHTING PLAN

Sheet No.

LP-00



MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

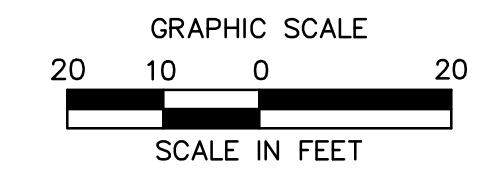
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Designed M.M.
Drawn L.M.W.
Reviewed S.D.F.
Scale 1" = 20'
Project No. 2001478
Date May, 2021
CAD File: LP200147801

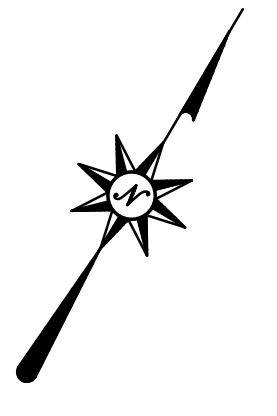
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LIGHTING PLAN

Sheet No.
LP-01

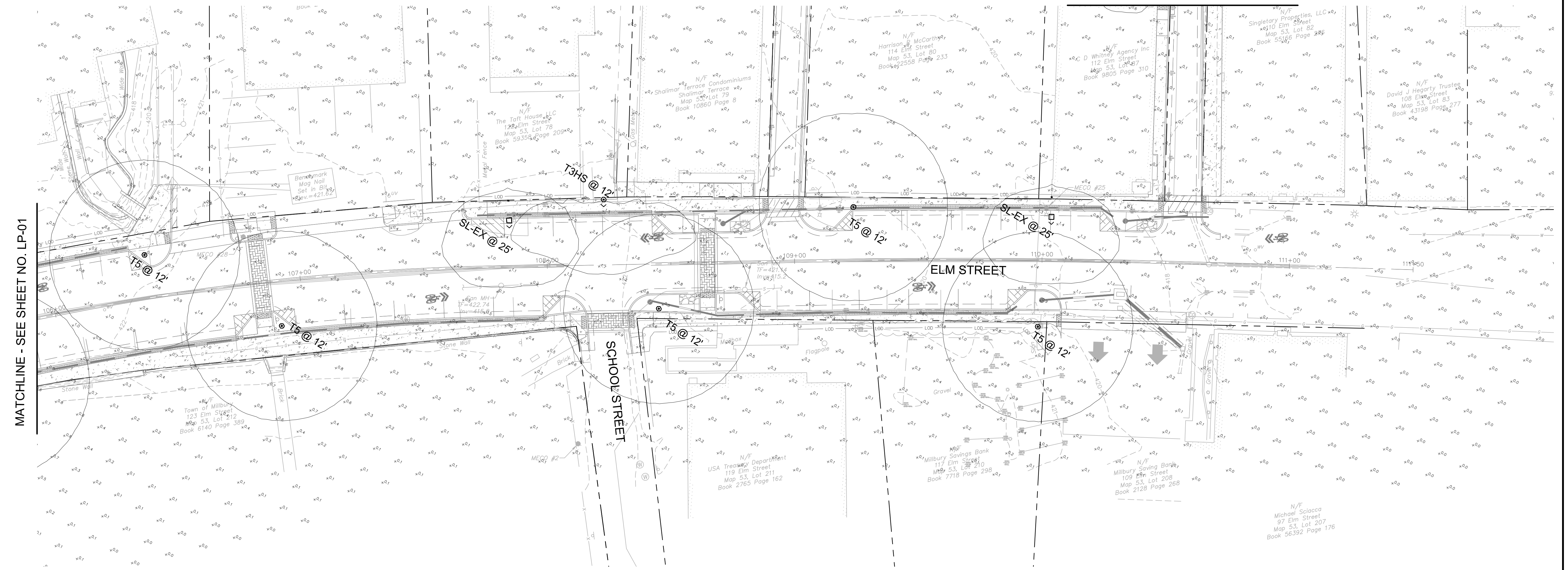
MATCHLINE - SEE SHEET NO. LP-02



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MILLBURY DOWNTOWN PHASE 2
ELM STREET
MILLBURY, MA

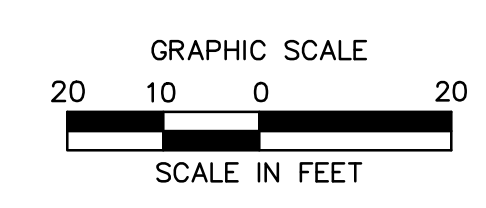
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No.	Date

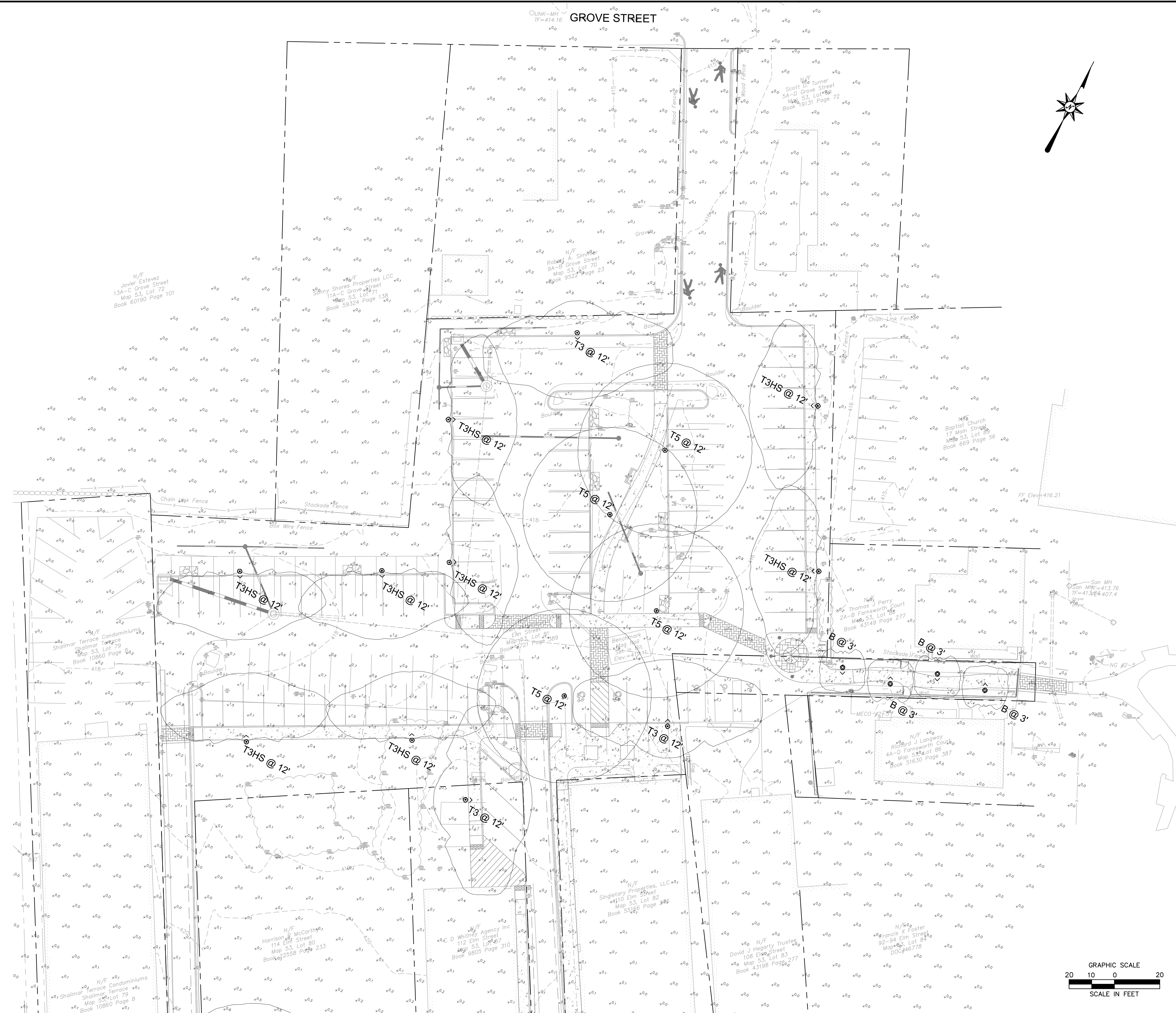
Designed M.M.
Drawn L.M.W.
Reviewed S.D.F.
Scale 1" = 20'
Project No. 2001478
Date May, 2021

CAD File: LP200147801
Title
LIGHTING PLAN

Sheet No.

LP-02





MATCHLINE - SEE SHEET NO. LP-02

REVISIONS	No.	Date	Desc.

Designed M.M.
Drawn L.M.W.
Reviewed S.D.F.
Scale 1" = 20'
Project No. 2001478
Date May, 2021
CAD File: LP200147801

Title
LIGHTING PLAN

Sheet No.

LP-03